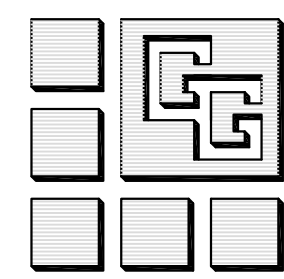


CHANGE OF USE

VFW Post 5561 240 Leonia Avenue Bogota, N.J. 07603

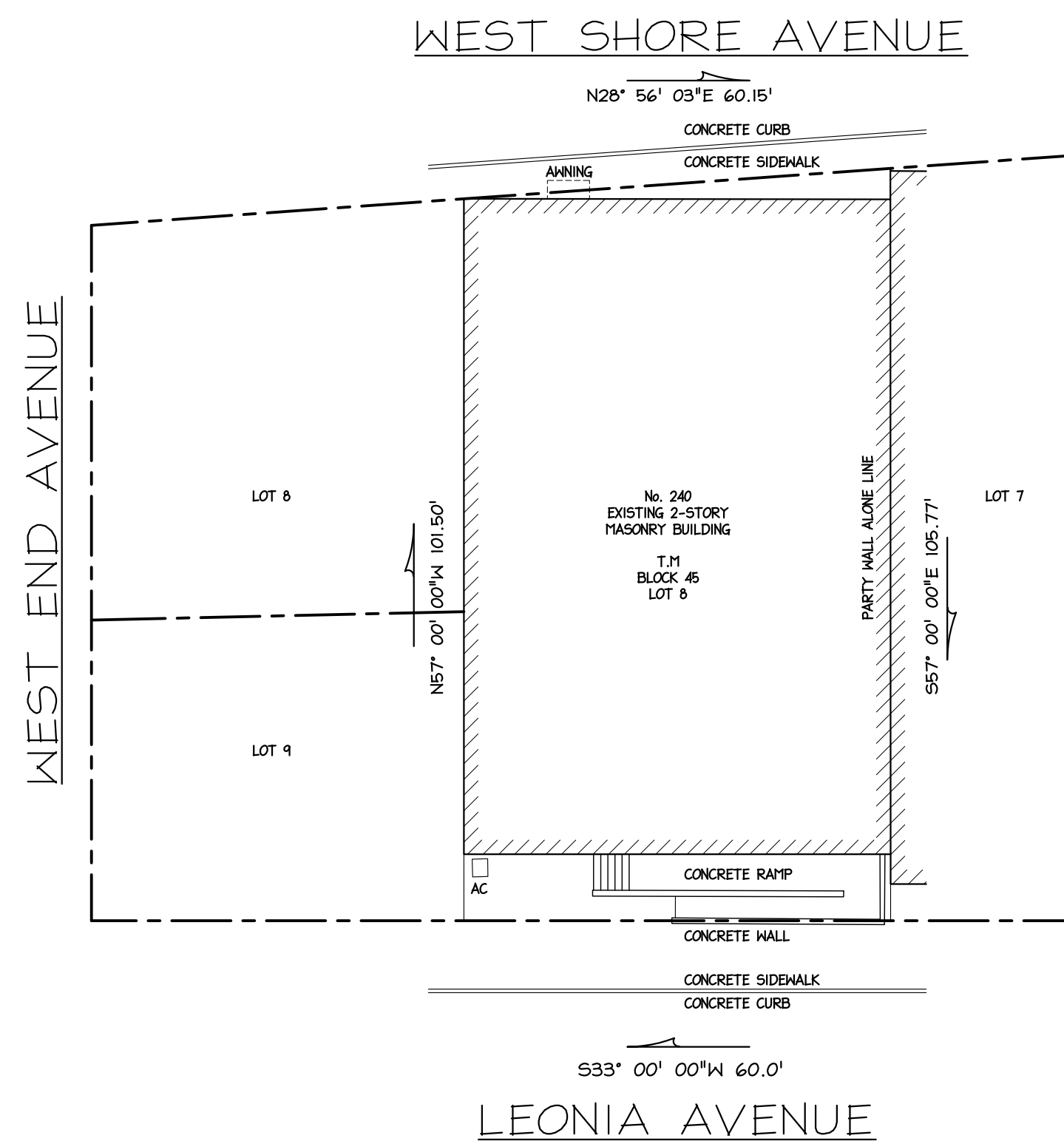


PROJECT ARCHITECT
GUZZO + GUZZO ARCHITECTS, LLC
608 RIDGE ROAD LYNDHURST, NJ 07071 Phone: (201) 939-1446
www.gg-architect.com Fax: (201) 939-1448

COMM. NO.: 21060

DATE: JULY 2021

PROJECT KEY PLAN



SITE PLAN

SCALE: 1" = 20'-0"

NOTE:
ALL EXISTING SITE INFORMATION IS TAKEN FROM
SURVEY PREPARED BY OMLAND & OSTERKORN, INC.
DATED AUGUST 2ND, 2021.

ZONING & PARKING INFO

ZONING CHART		LOT 8 BLOCK 45			
B-2 (BUSINESS) ZONING REQUIREMENTS		REQUIRED	EXISTING	PROPOSED	COMPLY
MINIMUM LOT DIMENSIONS	AREA, Sq. Ft.	4,000 Sq. Ft.	6,218 Sq. Ft.	6,218 Sq. Ft.	YES
	WIDTH, Feet	40.0'	60.0'	60.0'	YES
	DEPTH, Feet	100.0'	101.5'	101.5'	YES
MINIMUM YARD SETBACKS	FRONT, Feet	0.0'	9.37'	9.37'	YES
	REAR, Feet	15.0'	0.1'	0.1'	NO*
	SIDE, Feet	0.0'	0.0'	0.0'	YES
MAXIMUM BUILDING COVERAGE	75%	88.5% (5,504 S.F.)	88.5% (5,504 S.F.)	NO*	
MAXIMUM IMPERVIOUS COVERAGE	90%	100% (6,218 S.F.)	100% (6,218 S.F.)	NO*	
MAXIMUM HEIGHT	3 STORIES / 35'-0"	2 STORIES / < 35'-0"	2 STORIES / < 35'-0"	YES	
BUILDING TYPE	BUSINESS	BUSINESS	BUSINESS	YES	

* EXISTING NON-CONFORMING

PARKING CHART		
USE	REQUIRED EXISTING	REQUIRED PROPOSED
EVENT SPACE	1 space per 3 occupants = 505 occupants / 3 = 169 SPACES	1 space per 3 occupants = 235 occupants / 3 = 79 SPACES
RETAIL	1 space per 200 s.f. = 0 SPACES	1 space per 200 s.f. = 1,165 s.f. / 200 s.f. = 6 SPACES
OFFICE	1 space per 250 s.f. = 189 s.f. / 250 s.f. = 1 SPACE	1 space per 250 s.f. = 189 s.f. / 250 s.f. = 1 SPACE
TOTAL	170 SPACES	86 SPACES

BUILDING DATA

APPLICABLE BUILDING CODES:
BUILDING CODE: 2018 INTERNATIONAL BUILDING CODE, NJ ED.
ACCESSIBILITY CODE: ICC/ANSI A117.1-2009
U.C.C. REHAB. SUBCODE: N.J.A.C. TITLE 5, CHAPTER 23.
PLUMBING CODE: 2015 NATIONAL STANDARD PLUMBING CODE
FUEL AND GAS CODE: 2015 INTERNATIONAL FUEL GAS CODE
MECHANICAL CODE: 2015 INTERNATIONAL MECHANICAL CODE
ELECTRICAL CODE: NATIONAL ELECTRICAL CODE 2014 NFPA 70
FIRE/LIFE SAFETY CODE: NJAC 5:70 UNIFORM FIRE CODE

CONSTRUCTION TYPE: "III-B" FRAME

BUILDING AREA:
MEZZANINE = 1,020 S.F.
FIRST FLOOR = 5,507 S.F.
LOWER LEVEL = 5,507 S.F.

USE GROUP CLASSIFICATION:
FIRST FLOOR = "M" MERCANTILE
LOWER LEVEL = "A-3" ASSEMBLY

FIRE SEPARATION REQUIREMENTS:
REQUIRED FIRE SEPARATION FOR "A-3" AND "M" USES IS 2 HOURS AS INDICATED IN IBC TABLE 508.4

SHAFT ENCLOSURES AT EXISTING STAIRS TO BE 2 HOUR FIRE-RATING, MATCHING FLOOR FIRE-RATING AS INDICATED IN IBC SECTION 713.4

AUTOMATIC SPRINKLER SYSTEM NOT REQUIRED AS PER IBC SECTION 903.2.7

OCCUPANT LOAD - SECTION 1004:
OCCUPANCY LOADS WERE CALCULATED USING THE MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT AS INDICATED IN IBC TABLE 1004.1.2

CHAPTER 10 MEANS OF EGRESS:
LENGTH OF EXIT ACCESS TRAVEL FOR USE GROUP "A-3" PER TABLE 1017.2 IS 200 FEET WITHOUT SPRINKLER SYSTEM
LENGTH OF EXIT ACCESS TRAVEL FOR USE GROUP "M" PER TABLE 1017.2 IS 200 FEET WITHOUT SPRINKLER SYSTEM

CAPACITY OF EGRESS COMPONENTS - SECTION 1005:
THE WIDTH OF EACH MEANS OF EGRESS COMPONENT SHALL NOT BE LESS THAN THE WIDTH COMPUTED IN ACCORDANCE WITH SECTION 1005

REQUIRED STAIRWAY WIDTH:
271 OCCUPANTS X 0.3' = 81.3' REQUIRED // 119' PROVIDED (COMPLIES)
271 OCCUPANTS X 0.2' = 54.2' REQUIRED // 144' PROVIDED (COMPLIES)

NUMBER OF EXITS - SECTION 1006:
FIRST FLOOR HAS TWO INDEPENDENT EXITS, WHERE ONLY TWO ARE REQUIRED BY TABLE 1006.3.2 BASED ON THE CALCULATED OCCUPANCY LOADS

LOWER LEVEL HAS THREE INDEPENDENT EXITS, WHERE ONLY TWO ARE REQUIRED BY TABLE 1006.3.2 BASED ON THE CALCULATED OCCUPANCY LOADS

APPLICATION INFO

APPLICANT INFORMATION:
YAKIRA BELLA, LLC
240 LEONIA AVENUE
BOGOTA, NJ 07063

OWNER INFORMATION:
RALPH H. HALL
POST 5561
240 LEONIA AVENUE
BOGOTA, NJ 07063

DRAWING INDEX

- CS-1 COVER SHEET
- EX101 EXISTING LOWER LEVEL FLOOR PLAN
- EX102 EXISTING FIRST FLOOR PLAN
- DPI01 FIRST FLOOR DEMOLITION PLAN & NOTES
- DPI02 FIRST FLOOR REFLECTED CEILING DEMOLITION PLAN
- A101 LOWER LEVEL FLOOR PLAN & NOTES
- A102 FIRST FLOOR PLAN & NOTES
- A103 REFLECTED CEILING PLANS & NOTES
- EG101 LOWER FLOOR EGRESS & FIRE PLAN, NOTES & DETAILS
- EG102 FIRST FLOOR EGRESS & FIRE PLAN, NOTES & DETAILS

REVISIONS

SALVATORE M. GUZZO, AIA N.J. LIC. NO. C-3651
ANTHONY GUZZO, AIA N.J. LIC. NO. 12993

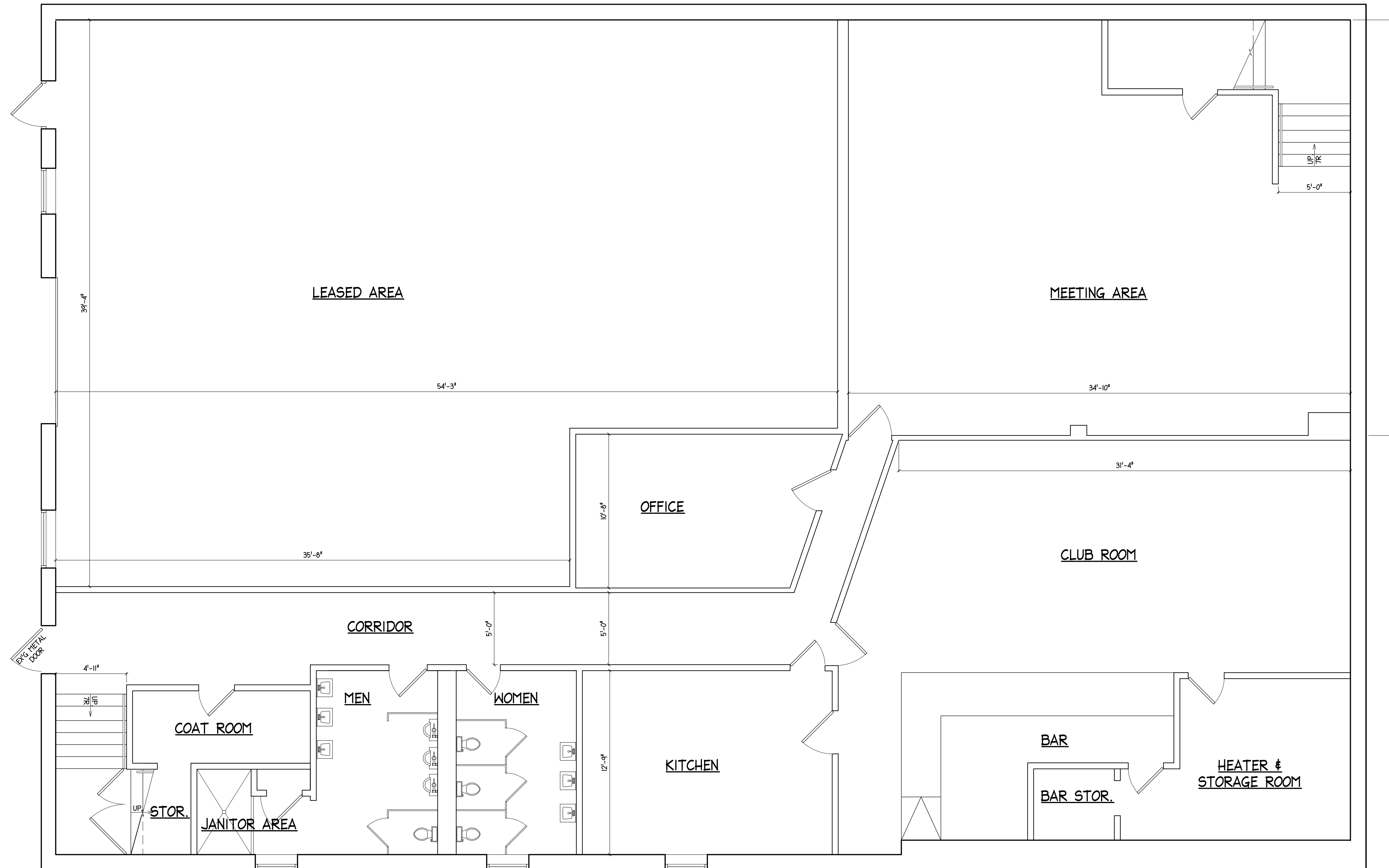
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201-939-1448

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COVER SHEET

EXISTING VFW HALL
240 LEONIA AVE.
BOGOTA, N.J.

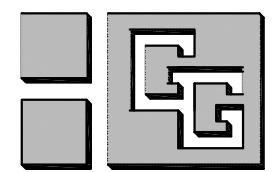

DATE 7/30/2021	SCALE AS NOTED	COMMISSION 21060	DRAWING CS-1
ISSUED	DRAWN AG JC BB		



1 EXISTING LOWER LEVEL FLOOR PLAN
 EX101 SCALE: 1/4"=1'-0"

REVISIONS

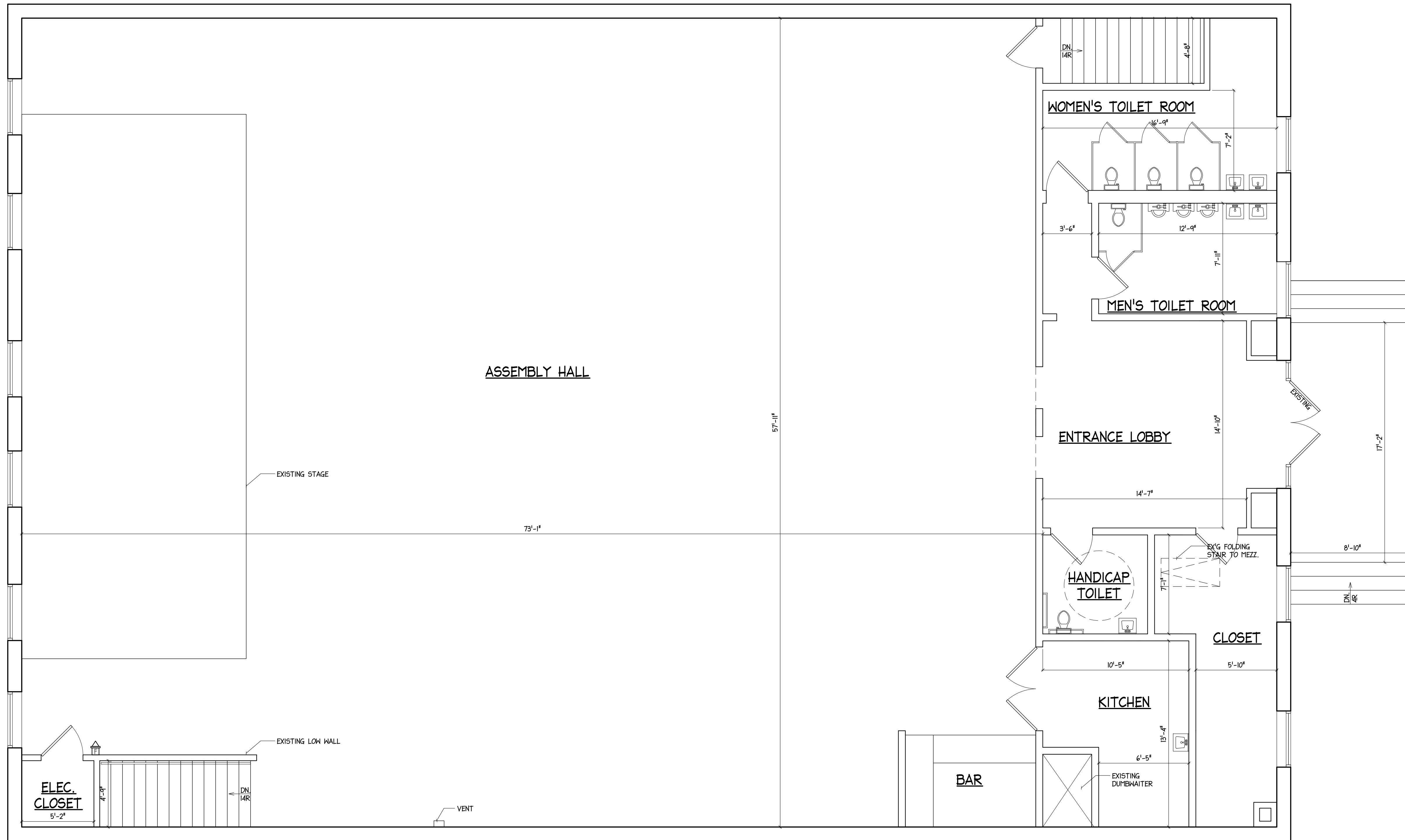
NO.	DATE	DESCRIPTION


 SALVATORE M. GUZZO, AIA N.J. LIC. NO. C-3651

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EXISTING LOWER LEVEL FLOOR PLAN

EXISTING VFW HALL
 240 LEONIA AVE.
 BOGOTA, N.J.

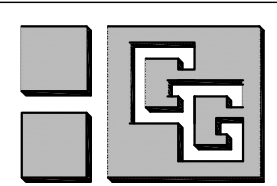
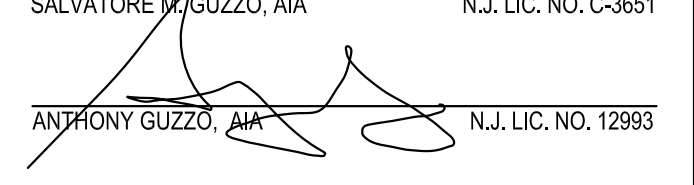
DATE	SCALE	COMMISSION	DRAWING
7/30/2021	AS NOTED	21060	EX101
ISSUED	DRAWN AG JC BB		



2 EXISTING FIRST FLOOR PLAN
 EX101 SCALE: 1/4"=1'-0"

REVISIONS

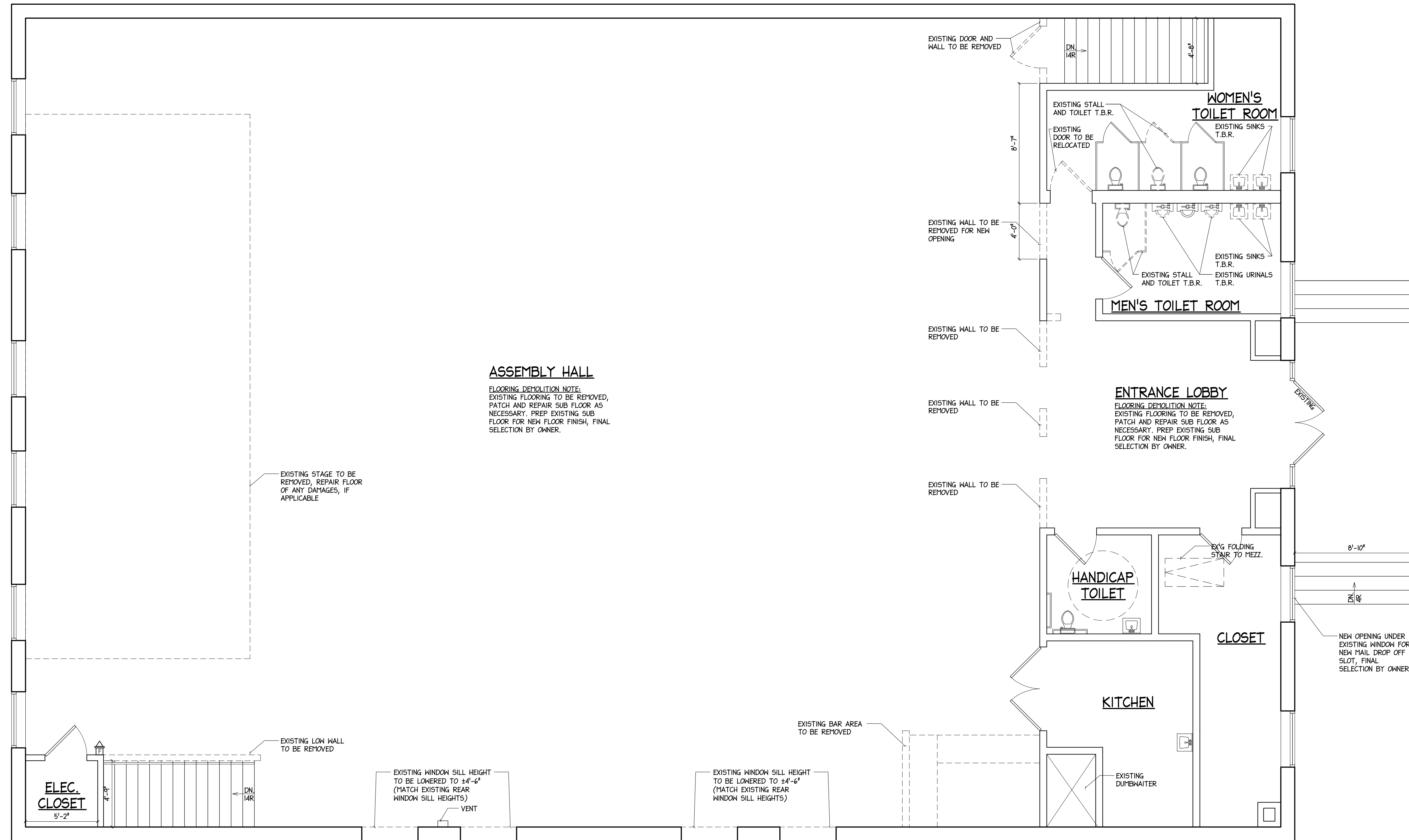
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EXISTING FIRST FLOOR PLAN

EXISTING VFW HALL
 240 LEONIA AVE.
 BOGOTA, N.J.

DATE 7/30/2021	SCALE AS NOTED	COMMISSION 21060	DRAWING EX102
ISSUED	DRAWN AG JC BB		



ASSEMBLY HALL

FLOORING DEMOLITION NOTE:
 EXISTING FLOORING TO BE REMOVED,
 PATCH AND REPAIR SUB FLOOR AS
 NECESSARY. PREP EXISTING SUB
 FLOOR FOR NEW FLOOR FINISH, FINAL
 SELECTION BY OWNER.

ENTRANCE LOBBY

FLOORING DEMOLITION NOTE:
 EXISTING FLOORING TO BE REMOVED,
 PATCH AND REPAIR SUB FLOOR AS
 NECESSARY. PREP EXISTING SUB
 FLOOR FOR NEW FLOOR FINISH, FINAL
 SELECTION BY OWNER.

1 FIRST FLOOR DEMOLITION PLAN
 DP101 SCALE: 1/4"=1'-0"

DEMOLITION NOTES

DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING FIELD CONDITIONS SO AS TO FAMILIARIZE THEMSELVES WITH OVERALL SCOPE OF THE PROJECT TO PRODUCE THE FINAL RESULT INTENDED IN THE CONTRACT DRAWINGS.

CONTRACTOR TO PROVIDE ALL TEMPORARY BRACING, SUPPORTS, AND SHORING TO EXISTING STRUCTURE AS REQUIRED. CONTRACTOR TO PAY FOR ALL SHORING ENGINEERING FEE IS NEEDED.

DEMOLITION CONTRACTOR SHALL INCLUDE COMPLETE REMOVAL OF ALL MATERIALS AND DEBRIS FROM SITE, LEAVING THE AREA CLEAR AND CLEAN FOR THE NEW CONSTRUCTION. CONTRACTOR MUST PROVIDE ALL BARRICADES AND PROTECTION AS REQUIRED TO INSURE SAFETY.

DEMOLITION CONTRACTOR MUST SURVEY EXISTING CONDITIONS PRIOR TO BIDDING TO REVIEW SCOPE OF WORK. CONTRACTOR TO NOTIFY OWNER & ARCHITECT WITH ANY DISCREPANCIES, QUESTIONS, COORDINATION OR EXTENT OF WORK PRIOR TO BID.

DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS & RELATED FEES.

CONTRACTOR SHALL RESTORE ALL ADJACENT SURFACES TO LIKE NEW CONDITION FOR THE ENTIRE HOMOGENEOUS SURFACE.

UTILITIES SERVING THE EXISTING BUILDING MUST BE SAFEGUARDED AGAINST DAMAGE THROUGHOUT THE DEMOLITION WORK.

THE EXISTING STRUCTURE SHALL BE BRACED DURING ERECTION USING TEMPORARY BRACING IN ACCORDANCE WITH THE REQUIREMENTS OF THE CODE OF STANDARD PRACTICE, LATEST EDITION, OF AISC. THE BRACING SHALL BE DESIGNED TO TAKE CARE OF ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECT TO INCLUDING EQUIPMENT AND THE OPERATION OF SAME. SUCH BRACING SHALL BE LEFT IN PLACE UNTIL THE ENTIRE STRUCTURE FUNCTIONS AS A UNIT OR LONGER IF REQUIRED FOR SAFETY.

CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, STANDARDS AND GOOD PRACTICE. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORK HOURS & THAT THIS CONTRACTOR SHALL DEFEND, INDEMNIFY & HOLD THE ARCHITECT OR ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.

THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND NOTIFY THE ARCHITECT WITH ANY DISCREPANCIES PRIOR TO THE START OF ANY WORK.

WHERE ALL EXISTING FLOORING IS REMOVED, PATCH, REPAIR & PREP FOR NEW FLOOR FINISH.

REPAIR AND CLOSE-UP ANY EXISTING ABANDONED ROOF PENETRATIONS OR OPENINGS IN THE EXISTING ROOF, COORDINATE WITH ALL TRADES. MATCH EXISTING ROOF CONSTRUCTION.

CONTRACTOR TO COORDINATE THE REMOVAL OF ALL EXISTING FINISHES WITH NEW FINISH

HAZARDOUS MATERIALS

THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A CERTIFIED REPORT TO IDENTIFY IF ANY MATERIALS CONTAINED WITHIN THE PREMISES ARE HAZARDOUS & REQUIRE ABATEMENT.

IF HAZARDOUS MATERIALS ARE PRESENT THE CONTRACTOR SHALL PROVIDE THE OWNER WITH MULTIPLE BIDS FOR ITS REMOVAL.

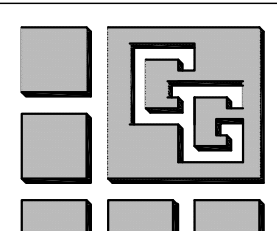
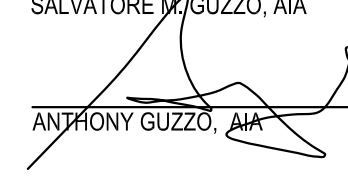
IF THE PRESENCE OF HAZARDOUS MATERIALS IS ASCERTAINED OR SUSPECTED PRIOR TO OR DURING CONSTRUCTION, IMMEDIATELY CEASE WORK IN THE IMMEDIATE AREA OF THE MATERIALS ENCOUNTERED. CONTACT THE OWNER PRIOR TO ARRANGING TO HAVE THE TOXICITY AND EXTENT OF THE MATERIALS TESTED. A DETERMINATION BY THE OWNER AND THEIR CONSULTANT(S) WILL BE MADE AS TO THE PREFERRED METHOD OF ISOLATING, REMOVING AND DISPOSING OF THE HAZARDOUS MATERIAL.

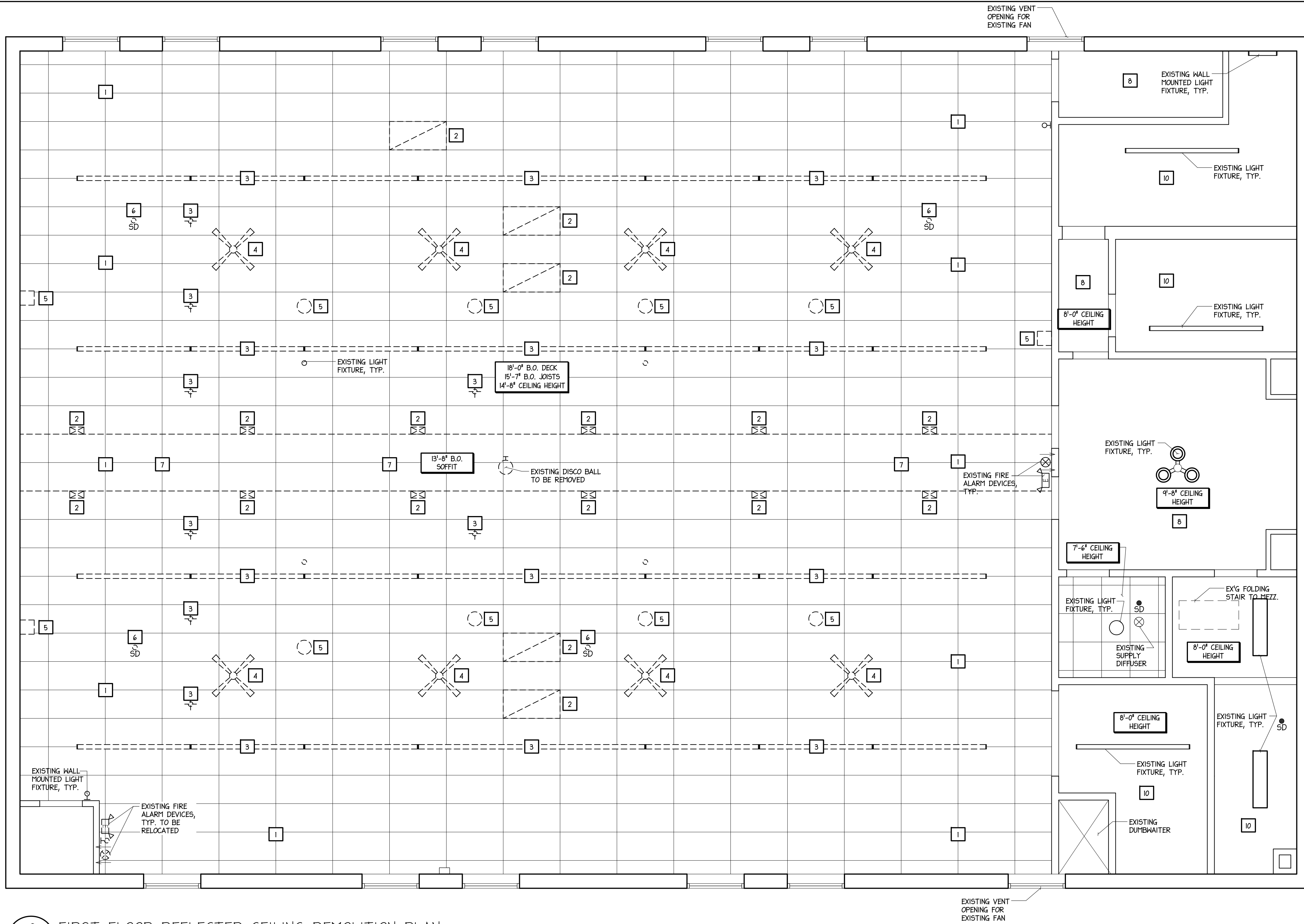
IF ABATEMENT IS REQUIRED, THE ABATEMENT MUST BE MONITORED TO SAFEGUARD THE PREMISES. ONCE ABATEMENT IS COMPLETE THE CONTRACTOR SHALL PROVIDE THE OWNER CERTIFICATION OF COMPLETION OF WORK.

REVISIONS

LEGEND

- INDICATES EXISTING PARTITIONS
- - - INDICATES DEMOLITION

	SALVATORE GUZZO, AIA N.J. LIC. NO. C-3651		
	ANTHONY GUZZO, AIA N.J. LIC. NO. 12993		
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FIRST FLOOR DEMOLITION PLAN & NOTES			
EXISTING VFW HALL 240 LEONIA AVE. BOGOTA, N.J.			
DATE 7/30/2021	SCALE AS NOTED	COMMISSION 21060	DRAWING DP101
ISSUED	DRAWN AG JC BB		



CEILING DEMOLITION KEY NOTES [#]

1. EXISTING 2'X4' S.A.T. CEILING TO BE REMOVED
2. EXISTING HVAC DIFFUSERS AND/OR RETURNS TO BE RELOCATED
3. EXISTING LIGHT FIXTURE TO BE REMOVED
4. EXISTING FAN TO BE REMOVED
5. EXISTING SPEAKERS TO BE REMOVED
6. EXISTING SMOKE DETECTORS TO BE RELOCATED
7. EXISTING DUCT TO BE REMOVED AND TO BE REPLACED BY NEW, FINAL SELECTION BY OWNER
8. EXISTING SHEET ROCK CEILING TO BE REMOVED
9. EXISTING CEILING TO REMAIN

2 FIRST FLOOR REFLECTED CEILING DEMOLITION PLAN
 DP101 SCALE: 1/4"=1'-0"

REVISIONS

	SALVATORE M. GUZZO, AIA	N.J. LIC. NO. C-3651
	ANTHONY GUZZO, AIA	N.J. LIC. NO. 12993

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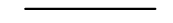
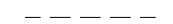
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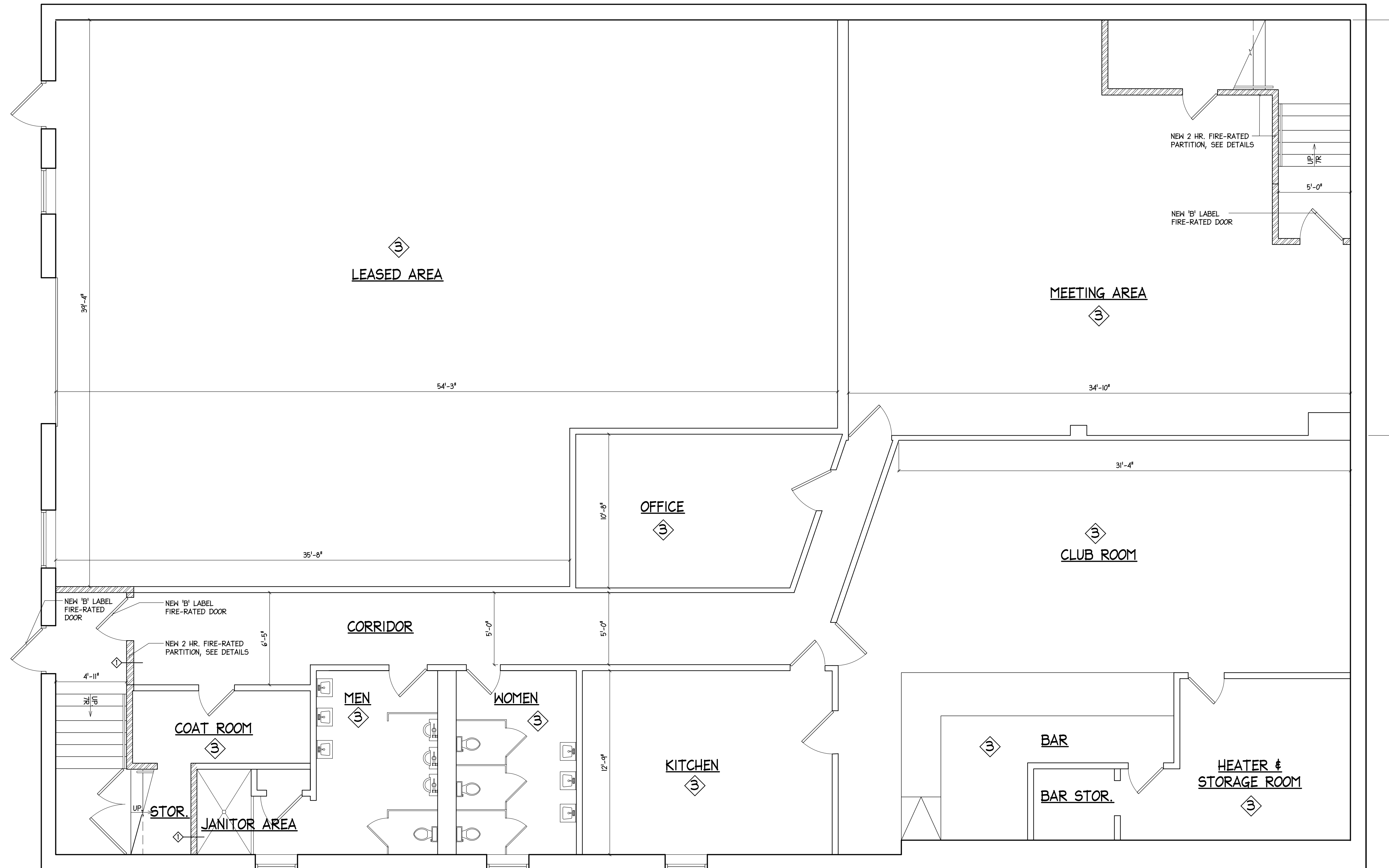
FIRST FLOOR REFLECTED CEILING DEMOLITION PLAN

EXISTING VFW HALL
 240 LEONIA AVE.
 BOGOTA, N.J.

LEGEND

-  INDICATES EXISTING PARTITIONS
-  INDICATES DEMOLITION

DATE 7/30/2021	SCALE AS NOTED	COMMISSION	DRAWING
ISSUED	DRAWN AG JC BB	21060	DP102



1 LOWER LEVEL FLOOR PLAN
 A101 SCALE: 1/4"=1'-0"

GENERAL NOTES

ALL ITEMS OF CONSTRUCTION SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, PROCEDURES AND OF CONSTRUCTION; FOR THE SAFETY PRECAUTIONS AND PROGRAMS INCIDENT TO THE WORK OF THE CONTRACTORS, OR FOR ANY FAILURE OF THE CONTRACTORS TO COMPLY WITH LAWS, RULES OR REGULATIONS.

CONTRACTOR MUST OFFICIALLY NOTIFY THE OWNERS OF THE START AND FINISH DATE OF CONSTRUCTION AND VERIFY THAT ADEQUATE INSURANCE COVERAGE IS IN EFFECT BY BOTH THE OWNER AND CONTRACTOR. CONTRACTOR AND ALL SUB-CONTRACTORS MUST BE LICENSED AND FULLY INSURED. CONTRACTOR TO PROVIDE COPIES OF BOTH TO OWNER PRIOR TO THE START OF WORK.

THE CONTRACTOR SHALL INDEMNIFY THE HOLD HARMLESS THE ARCHITECTS AND OWNER'S THEIR AGENTS AND EMPLOYEES AS STIPULATED UNDER SECTION 4-18 OF THE GENERAL CONDITIONS, STANDARD FORM OF THE AMERICAN INSTITUTE OF ARCHITECTS, A 201.

COORDINATE ALL UTILITIES W/ MECHANICAL. VERIFY W/ OWNER LOCATION, EXHAUST, SIZE & TYPE OF FURNACE. COORDINATE & ADJUST PARTITIONS & LOCATIONS TO SUIT.

V.I.F. = VERIFY IN FIELD

M.O. = MASONRY OPENING

PROVIDE TEMPERED SAFETY GLASS @ TUB & AS REQUIRED BY CODE.

CARPENTRY & MASONRY:

PROVIDE STEEL ANGLE LINTELS AT ALL MASONRY OPENINGS (3/8" X 4") OR PRE-CAST BLOCK LINTELS.

ALL SHEETROCK TO BE TAPED, SPACKLED, SANDED AND PAINTED. PAINT COLOR TO BE SELECTED BY OWNER (SHERWIN-WILLIAMS OR EQUAL). PROVIDE WATER RESISTANT SHEETROCK IN ALL BATHROOMS AND WET AREAS.

KITCHEN:

FINAL LAYOUT & SELECTION OF KITCHEN CABINETS BY OTHERS.

CONTRACTOR TO SUBMIT LITERATURE ON ALL KITCHEN EQUIPMENT INCLUDING ALL UTILITY REQUIREMENTS, ASTM, UL, AGA & NSF LISTINGS AND LABELS TO BUILDING DEPARTMENT FOR APPROVAL.

PLUMBING

ALL PLUMBING FIXTURES TO BE AMERICAN STANDARD OR EQUAL. VERIFY ALL FINAL SELECTIONS WITH OWNER.

ALL WATER PIPES TO BE COVERED AND INSULATED. ALL WATER PIPING TO BE VALVED AT FIXTURES.

FLASH ALL VENT LINES THRU ROOF.

ALL WASTE LINES UNDER FLOOR TO BE NOT LESS THAN 3" PVC PIPE WITH A MINIMUM 1/8" TO 1/4" PITCH.

WATER LINES TO BE COPPER TYPE "K" FOR UNDERGROUND, AND TYPE "L" COPPER FOR ALL LINES ABOVE FLOOR.

ALL PIPING, HANGERS, CONNECTION, ETC. AND INSTALLATION TO COMPLY WITH BOCA MECHANICAL CODE, ARTICLE 6.

BRACE ALL VERTICAL PIPING 10'-0" O.C. MAXIMUM.

PLUMBING CONTRACTOR TO COORDINATE LOCATIONS, SIZES, ETC. OF WATER & GAS SERVICES & METERS. VERIFY FINAL LOCATIONS W/ OWNER.

REVISIONS

SALVATORE M. GUZZO, AIA N.J. LIC. NO. C-3651
 ANTHONY GUZZO, AIA N.J. LIC. NO. 12993

GUZZO + GUZZO ARCHITECTS, L.L.C.

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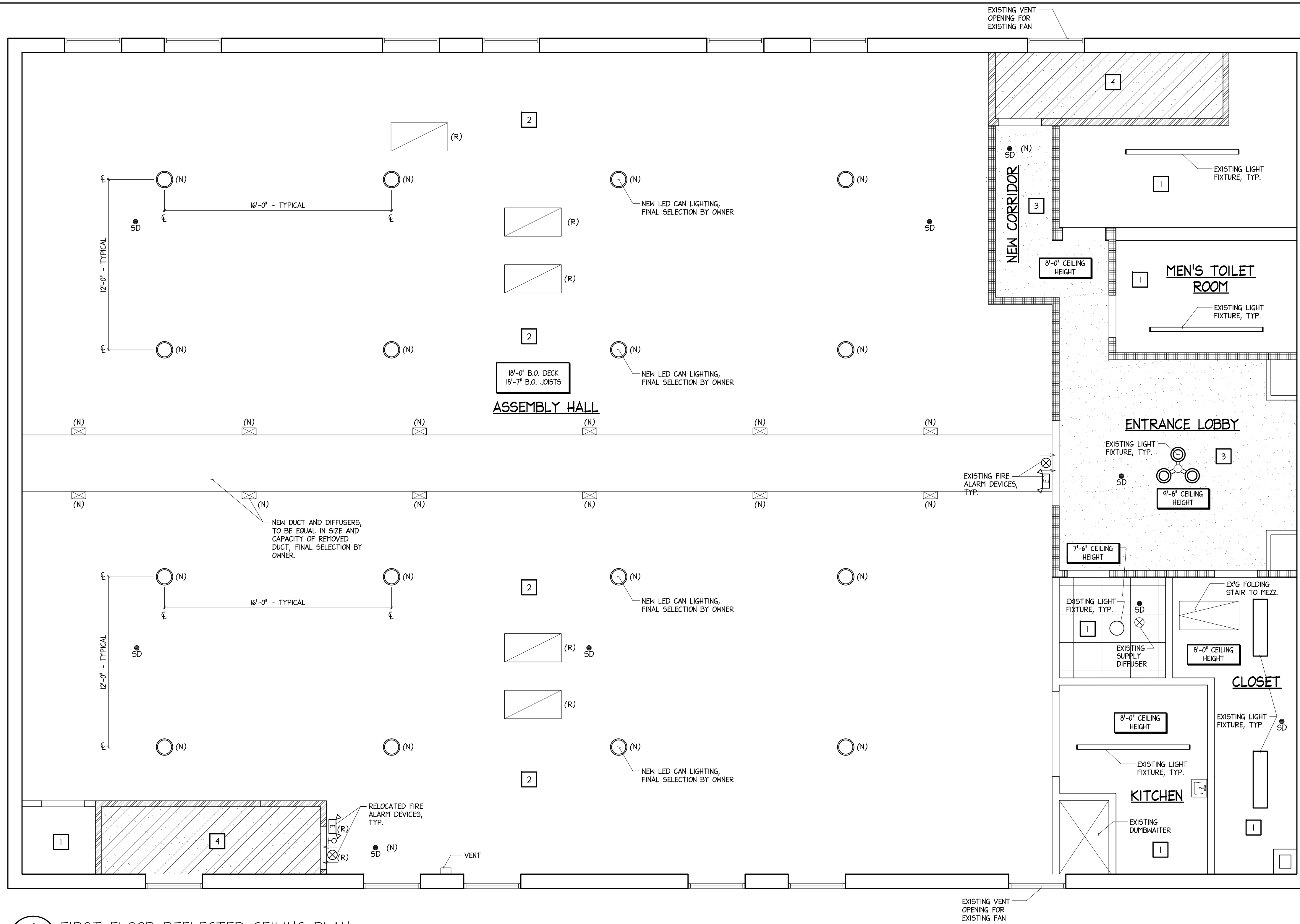
LOWER LEVEL FLOOR PLAN & NOTES

EXISTING VFW HALL
 240 LEONIA AVE.
 BOGOTA, N.J.

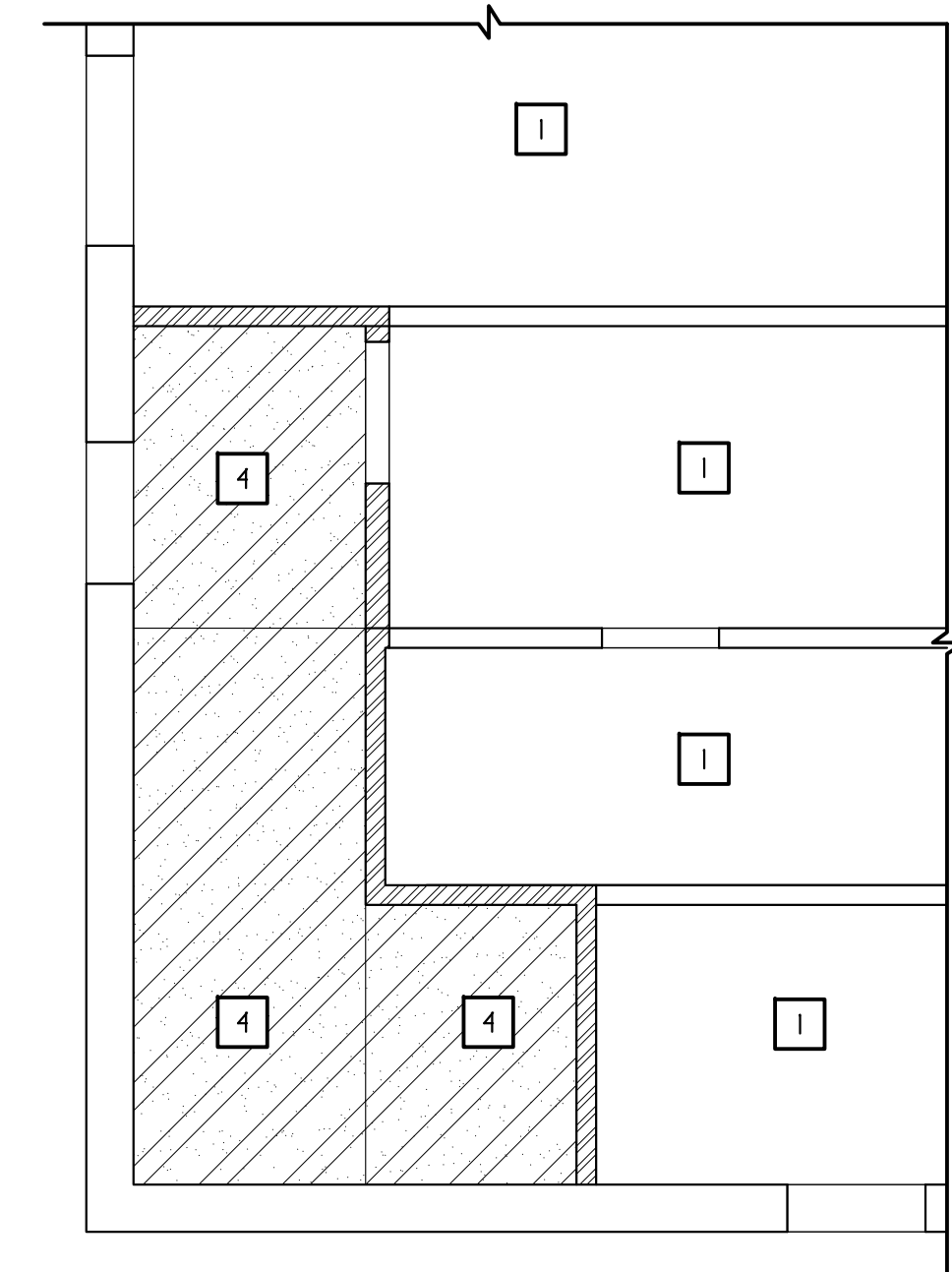
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ISSUED	DRAWN AG JC BB	21060	A101

LEGEND

- INDICATES EXISTING PARTITIONS
- - - - - INDICATES DEMOLITION
- ▬▬▬▬▬ INDICATES NEW INTERIOR PARTITIONS 2"x4" @ 16' O.C.
- ▨▨▨▨▨ INDICATES NEW 2 HOUR FIRE-RATED PARTITIONS 25GA METAL STUDS @ 16' O.C.
- ▧▧▧▧▧ INDICATES NEW 1 HOUR FIRE-RATED PARTITIONS 25GA METAL STUDS @ 16' O.C.
- ⊕ DUPLEX RECEPTACLE



3 FIRST FLOOR REFLECTED CEILING PLAN
 A103 SCALE: 1/4"=1'-0"



3 PARTIAL LOWER LEVEL REFLECTED CEILING PLAN
 A103 SCALE: 1/4"=1'-0"

REVISIONS

NO.	DATE	DESCRIPTION

GUZZO + GUZZO ARCHITECTS, L.L.C.
 608 RIDGE ROAD LYNDHURST, N.J. 07071
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REFLECTED CEILING PLANS & NOTES

EXISTING VFW HALL
 240 LEONIA AVE.
 BOGOTA, N.J.

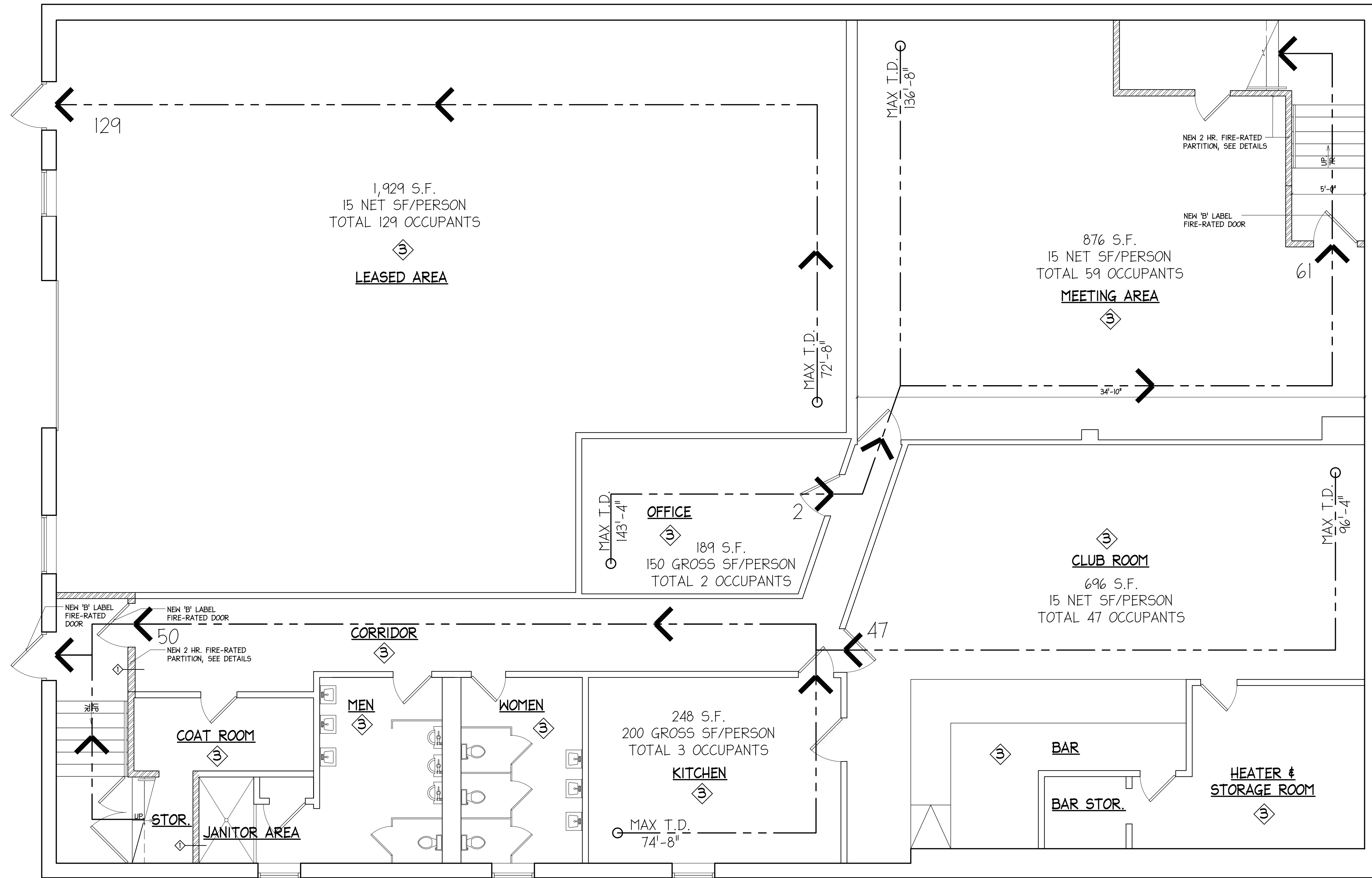
DATE 7/30/2021	SCALE AS NOTED	COMMISSION 21060	DRAWING A103
ISSUED	DRAWN AG JC BB		

GENERAL NOTES:

- (N) - NEW FIXTURES
- (R) - RELOCATED FIXTURES
- FINAL SELECTION OF NEW LED CAN LIGHTING FIXTURES BY OWNER.
- HVAC CONTRACTOR TO PROVIDE NEW DUCT AND DIFFUSERS, WHERE APPLICABLE, EQUAL IN SIZE AND CAPACITY OF REMOVED EXISTING DUCT AND DIFFUSERS. FINAL SELECTION BY OWNER.

CEILING TYPE LEGEND:

1	EXISTING CEILING TO REMAIN
2	EXPOSED TO STRUCTURE, EXISTING STRUCTURE TO BE PAINTED, FINAL SELECTION BY OWNER
3	1 HOUR RATED SHEET ROCK CEILING - PROVIDE 1 LAYER OF 5/8" TYPE "X" FIRE RATED SHEET ROCK
4	2 HOUR RATED SHEET ROCK CEILING - PROVIDE 2 LAYERS OF 5/8" TYPE "X" FIRE RATED SHEET ROCK



PER INTERNATIONAL BUILDING CODE 2018 NJ EDITION

APPLICABLE BUILDING CODES:
 BUILDING CODE: 2018 INTERNATIONAL BUILDING CODE, NJ ED.
 ACCESSIBILITY CODE: ICC/ANSI A117.1-2009
 U.C.C REHAB. SUBCODE: N.J.A.C. TITLE 5, CHAPTER 23.
 PLUMBING CODE: 2015 NATIONAL STANDARD PLUMBING CODE
 FUEL AND GAS CODE: 2015 INTERNATIONAL FUEL GAS CODE
 MECHANICAL CODE: 2015 INTERNATIONAL MECHANICAL CODE
 ELECTRICAL CODE: NATIONAL ELECTRICAL CODE 2014 NFPA 70
 FIRE/LIFE SAFETY CODE: NJAC 5:70 UNIFORM FIRE CODE

CONSTRUCTION TYPE: "IIB" FRAME

BUILDING AREA:
 MEZZANINE = 1,020 S.F.
 FIRST FLOOR = 5,507 S.F.
 LOWER LEVEL = 5,507 S.F.

USE GROUP CLASSIFICATION:
 FIRST FLOOR = "M" MERCANTILE
 LOWER LEVEL = "A-3" ASSEMBLY

FIRE SEPARATION REQUIREMENTS:
 REQUIRED FIRE SEPARATION FOR "A-3" AND "M" USES IS 2 HOURS AS INDICATED IN IBC TABLE 508.4

SHAFT ENCLOSURES AT EXISTING STAIRS TO BE 2 HOUR FIRE-RATING, MATCHING FLOOR FIRE-RATING AS INDICATED IN IBC SECTION 713.4

AUTOMATIC SPRINKLER SYSTEM NOT REQUIRED AS PER IBC SECTION 903.2.7

OCCUPANT LOAD - SECTION 1004:
 OCCUPANCY LOADS WERE CALCULATED USING THE MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT AS INDICATED IN IBC TABLE 1004.1.2

CHAPTER 10 MEANS OF EGRESS:
 LENGTH OF EXIT ACCESS TRAVEL FOR USE GROUP "A-3" PER TABLE 1017.2 IS 200 FEET WITHOUT SPRINKLER SYSTEM
 LENGTH OF EXIT ACCESS TRAVEL FOR USE GROUP "M" PER TABLE 1017.2 IS 200 FEET WITHOUT SPRINKLER SYSTEM

CAPACITY OF EGRESS COMPONENTS - SECTION 1005:
 THE WIDTH OF EACH MEANS OF EGRESS COMPONENT SHALL NOT BE LESS THAN THE WIDTH COMPUTED IN ACCORDANCE WITH SECTION 1005

REQUIRED STAIRWAY WIDTH:
 271 OCCUPANTS X 0.3' = 81.3' REQUIRED // 119' PROVIDED (COMPLIES)
 271 OCCUPANTS X 0.2' = 54.2' REQUIRED // 144' PROVIDED (COMPLIES)

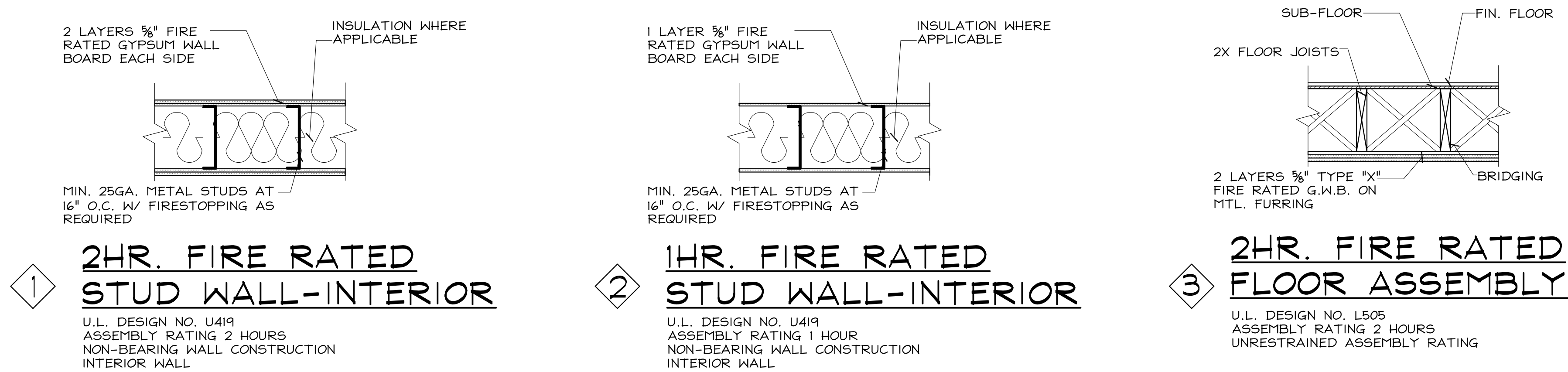
NUMBER OF EXITS - SECTION 1006:
 FIRST FLOOR HAS TWO INDEPENDENT EXITS, WHERE ONLY TWO ARE REQUIRED BY TABLE 1006.3.2 BASED ON THE CALCULATED OCCUPANCY LOADS

LOWER LEVEL HAS THREE INDEPENDENT EXITS, WHERE ONLY TWO ARE REQUIRED BY TABLE 1006.3.2 BASED ON THE CALCULATED OCCUPANCY LOADS

REVISIONS

1 LOWER FLOOR EGRESS & FIRE PLAN
 EG101 SCALE: 1/4"=1'-0"

FIRE RATED SEPARATION DETAILS FOR WALLS AND FLOOR ASSEMBLIES



LEGEND

	INDICATES EXISTING PARTITIONS
	INDICATES DEMOLITION
	INDICATES NEW INTERIOR PARTITIONS 2"x4" @ 16" O.C.
	INDICATES NEW 2 HOUR FIRE-RATED PARTITIONS 25GA METAL STUDS @ 16" O.C.
	INDICATES NEW 1 HOUR FIRE-RATED PARTITIONS 25GA METAL STUDS @ 16" O.C.
	DUPLEX RECEPTACLE

GUZZO + GUZZO ARCHITECTS, L.L.C.

608 RIDGE ROAD LYNDHURST, N.J. 07071 (FAX) 201-939-1448

201-939-1446 (FAX) 201-939-1448

825 STATE ST. 10TH FLOOR NEW YORK, NY 10038

DATE: 7/30/2021 SCALE: AS NOTED COMMISSION: 21060 DRAWING: EG101

ISSUED: AG JC BB

LOWER FLOOR EGRESS & FIRE PLAN, NOTES & DETAILS

EXISTING VFW HALL
 240 LEONIA AVE.
 BOGOTA, N.J.

PER INTERNATIONAL BUILDING CODE 2018 NJ EDITION

APPLICABLE BUILDING CODES:
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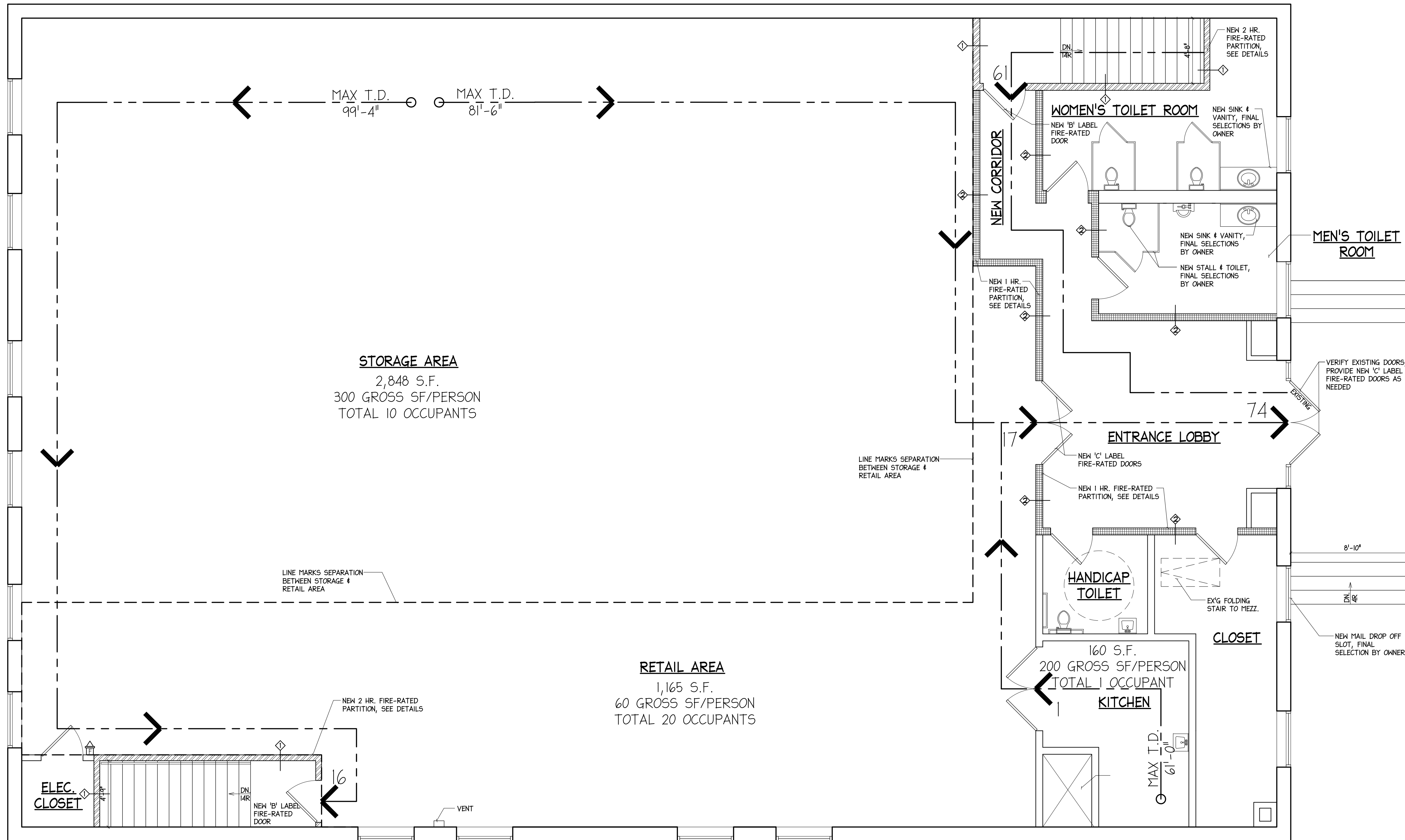
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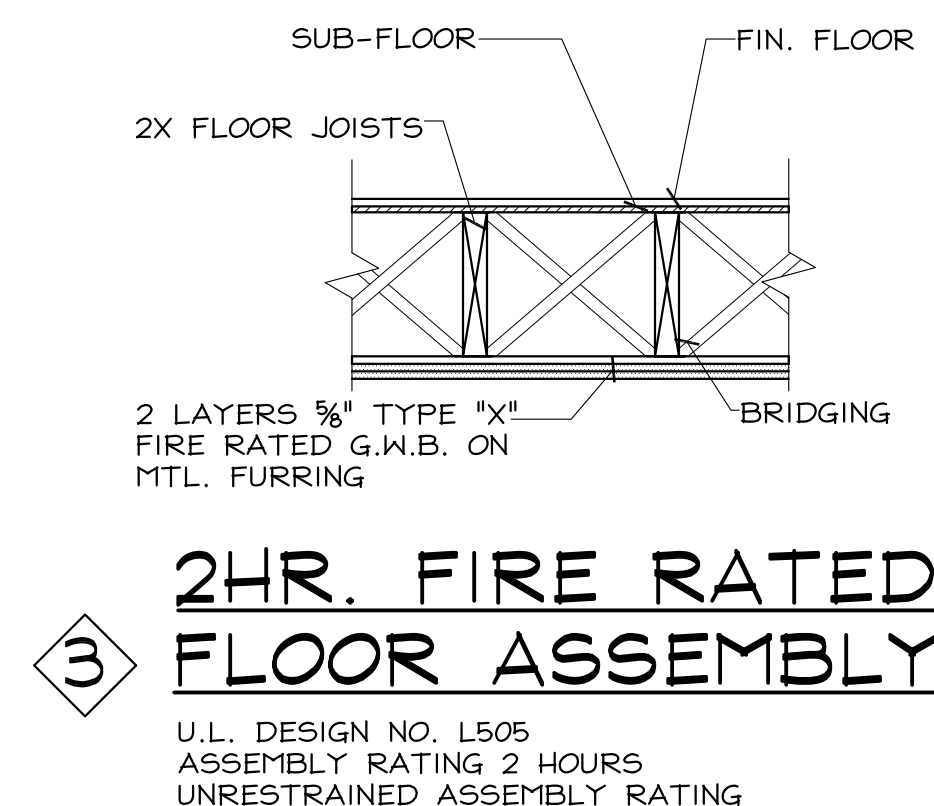
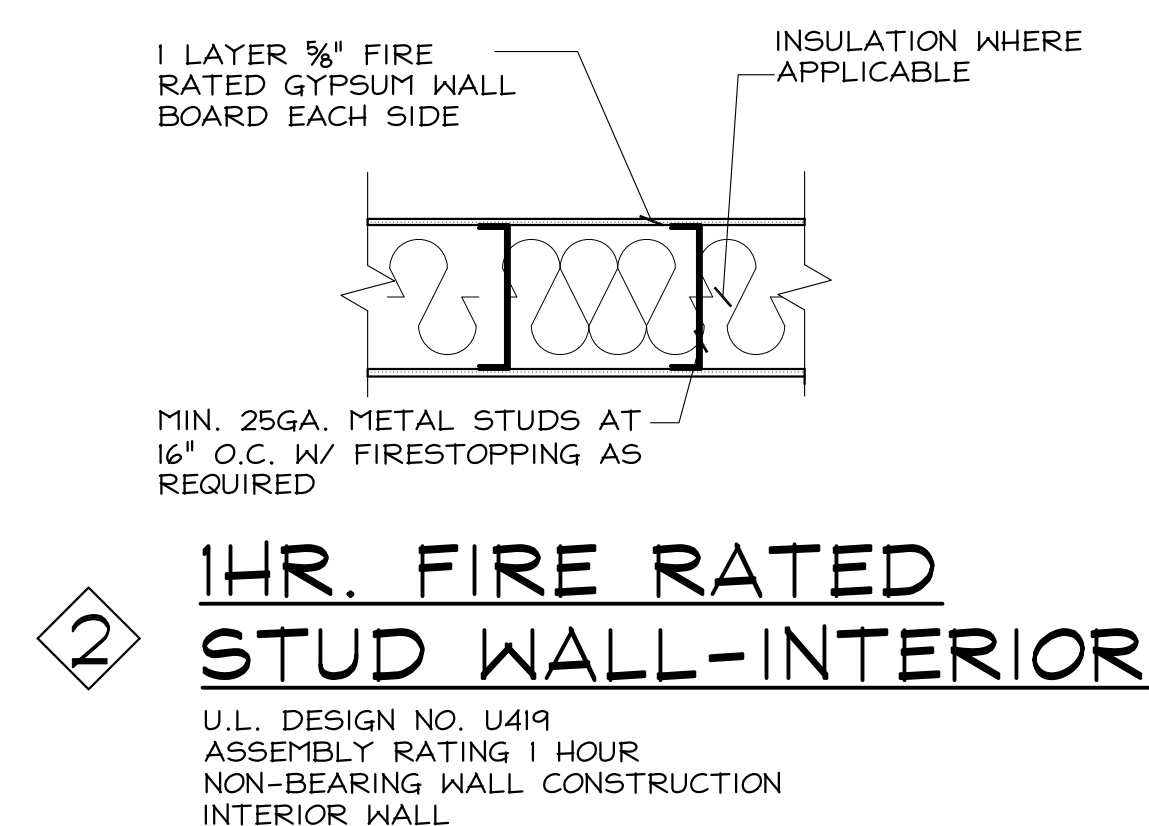
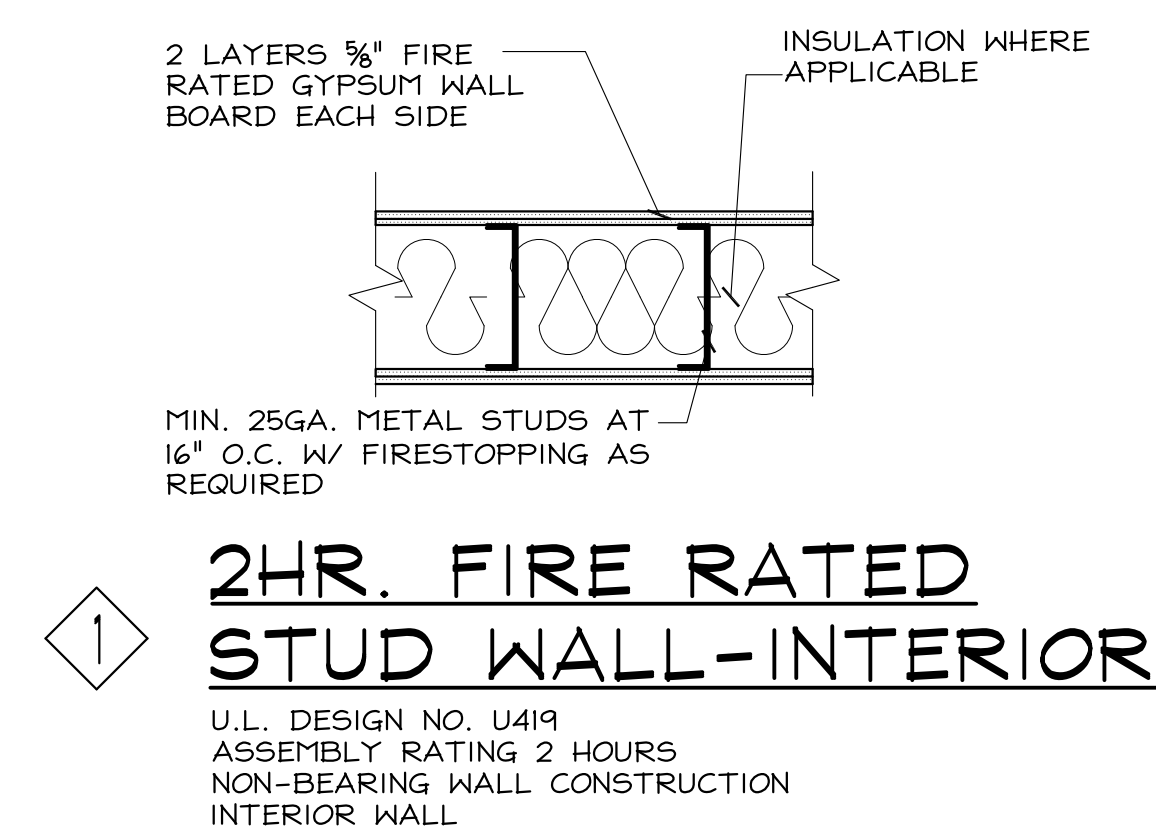
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2 FIRST FLOOR FIRE & EGRESS PLAN
 EG102 SCALE: 1/4"=1'-0"

FIRE RATED SEPARATION DETAILS FOR WALLS AND FLOOR ASSEMBLIES



LEGEND

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- - - INDICATES DEMOLITION
- ▨ INDICATES NEW INTERIOR PARTITIONS 2"x4" @ 16" O.C.
- ▧ INDICATES NEW 2 HOUR FIRE-RATED PARTITIONS 25GA METAL STUDS @ 16" O.C.
- ▩ INDICATES NEW 1 HOUR FIRE-RATED PARTITIONS 25GA METAL STUDS @ 16" O.C.
- ⊕ DUPLEX RECEPTACLE

REVISIONS

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FIRST FLOOR EGRESS & FIRE PLAN, NOTES & DETAILS

EXISTING VFW HALL
 240 LEONIA AVE.
 BOGOTA, N.J.

DATE	SCALE	COMMISSION	DRAWING
7/30/2021	AS NOTED		
ISSUED	DRAWN	21060	EG102
	AG JC BB		