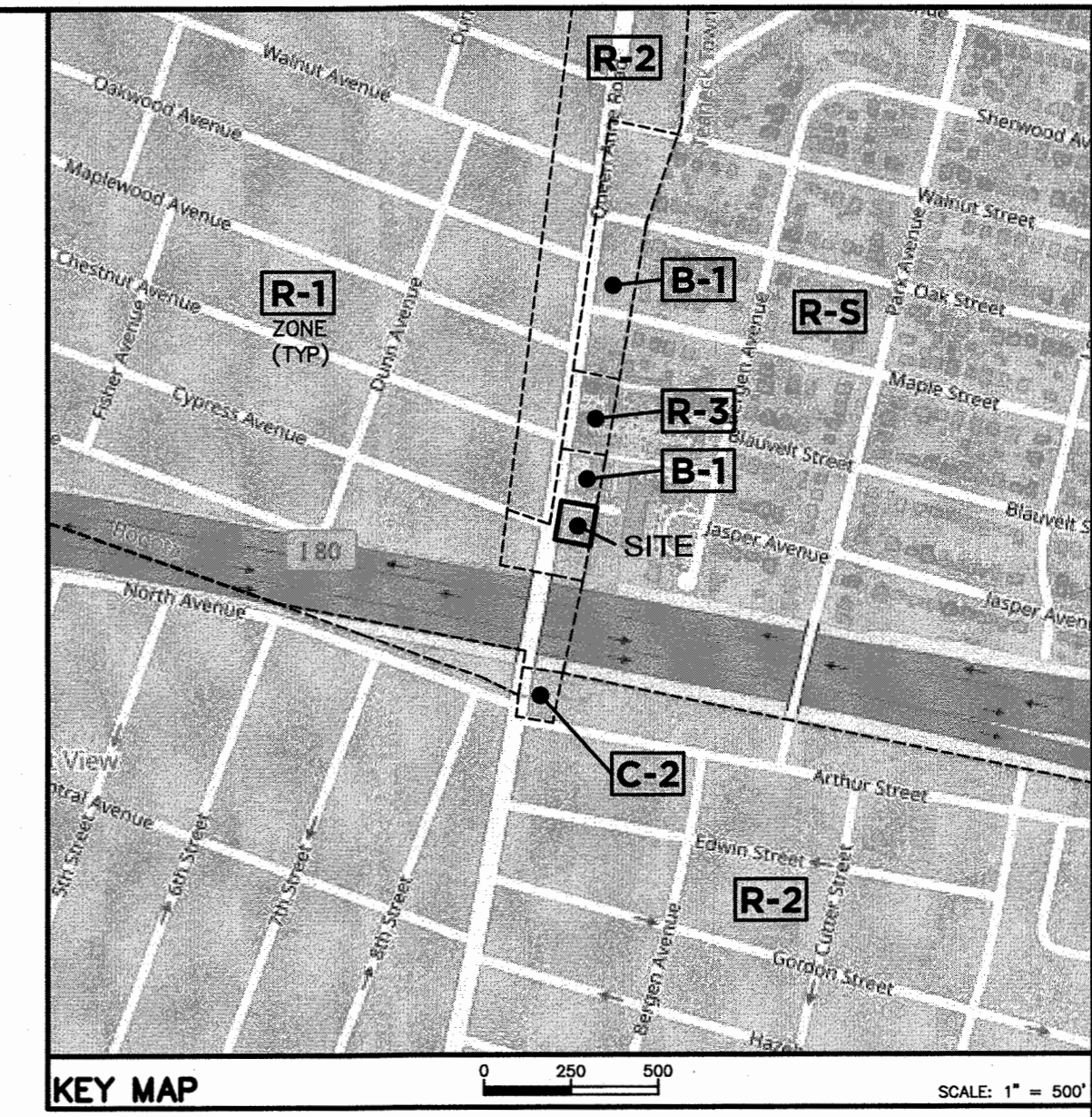


# PRELIMINARY & FINAL SITE PLAN MULTI-FAMILY APT. BLDG.

**BLOCK 95, LOTS 1.01 & 1.02  
51 QUEEN ANNE ROAD  
BOROUGH OF BOGOTA  
BERGEN COUNTY, NEW JERSEY**



AERIAL MAP SCALE: 1" = 200'



KEY MAP SCALE: 1" = 500'

**PROPERTY OWNERS WITHIN 200'**

BLOCK	LOT	PROPERTY OWNER	PROPERTY LOCATION
<b>BOROUGH OF BOGOTA (Per Municipal Assessor dated 11-24-21)</b>			
88	4	FAIRMOUNT PROPERTY 2004 LLC PO BOX 940 MONSEY, NY 10952	73 QUEEN ANNE RD
88	5	PATEL, K & H; C/O WELSH FARMS 55 QUEEN ANNE RD BOGOTA, NJ 07603	61 QUEEN ANNE RD
89	9	COPPOCK, EARL H. & ANITA MARIE 258 CHESTNUT AVE BOGOTA, NJ 07603	258 CHESTNUT AVE
89	10	ALMANZAR (ETAL), ELBIO 66 QUEEN ANNE RD BOGOTA, NJ 07603	66 QUEEN ANNE RD
89	11	ROMERO, GUERI O 60 QUEEN ANNE RD BOGOTA, NJ 07603	60 QUEEN ANNE RD
89	12	OCAMPO, VICTOR S. & ORHA A. 54 QUEEN ANNE ROAD BOGOTA, NJ 07603	54 QUEEN ANNE RD
89	13	ROSA, MYRNA 48 QUEEN ANNE ROAD BOGOTA, NJ 07603	48 QUEEN ANNE RD
89	14	CARDENAS, JOSE A & RUTH N 261 CYPRESS AVE BOGOTA NJ 07603	261 CYPRESS AVE
94	11	TOUTOUNJIAN, LEON & ANAIS 87 TEANECK RD TEANECK, NJ 07666	44 QUEEN ANNE RD

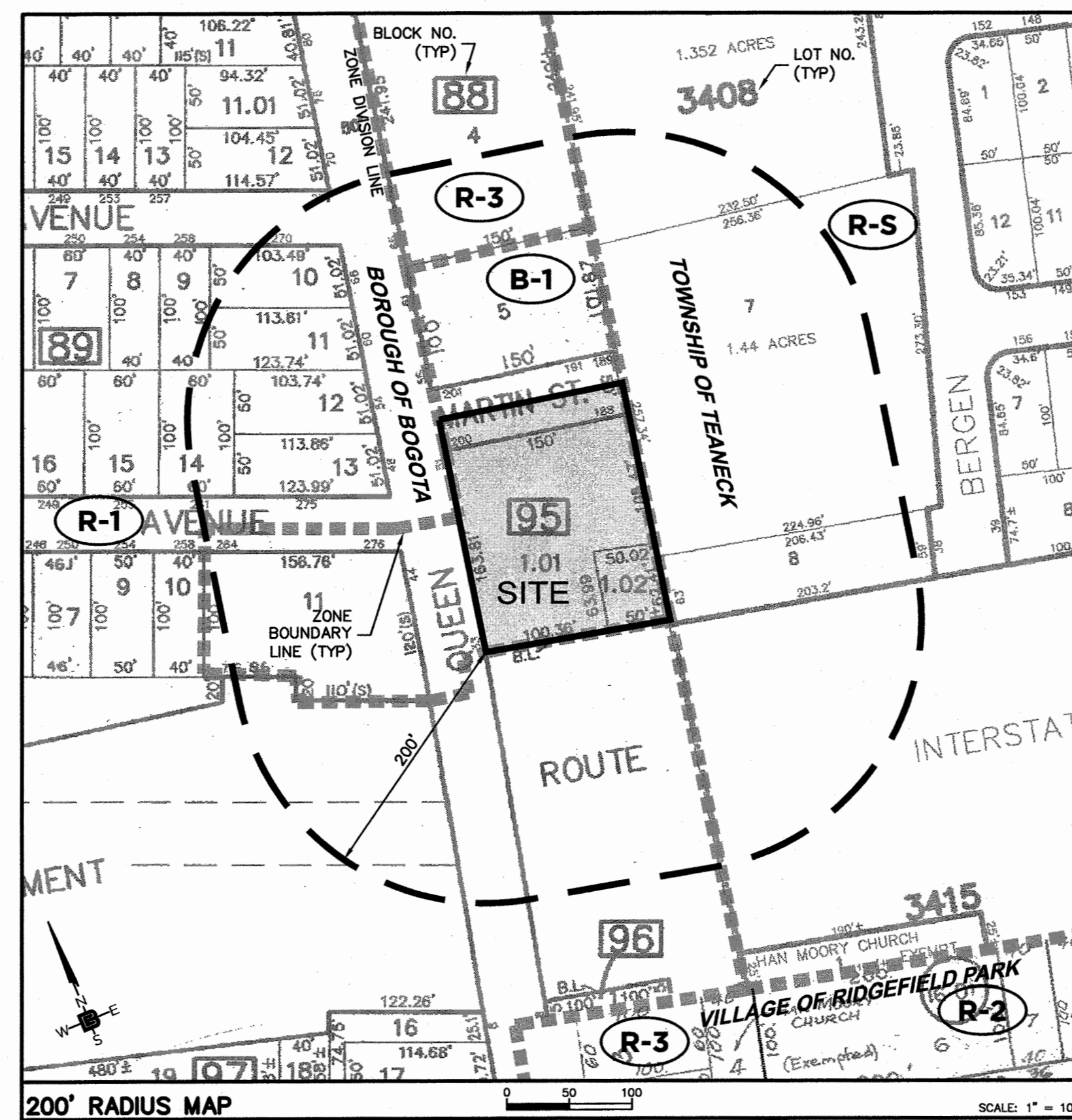
BLOCK	LOT	PROPERTY OWNER	PROPERTY LOCATION
<b>TOWNSHIP OF TEANECK (Per Municipal Assessor dated 12-10-21)</b>			
3408	6	COLONIAL GARDENS 2005 LLC NJ PO BOX 940 MONSEY, NY 10952	80-86 BERGEN AVE
3408	7	TEANECK SENIOR HOUSING URBAN REN, LP ONE PARKER PLAZA FORT LEE, NJ 07024	60 BERGEN AVE
3408	7	TEANECK SENIOR HOUSING URBAN REN, LP ONE PARKER PLAZA FORT LEE, NJ 07024	60 BERGEN AVE
3408	8	ZARRO, WILLIAM R. & SUNITA C. 38 BERGEN AVE TEANECK, NJ 07666	38 BERGEN AVE

**MUNICIPALITIES & UTILITIES**

Dominic L. DiSelvo, P.E., BCEE  
Director of Engineering  
Bergen County Utilities Authority  
Box 9, Foot of Merhoff Road  
Little Ferry, NJ 07643

Cablevision  
235 West Nyack Rd.  
West Nyack, NY 10994

Verizon  
114 Paterson Street, 3rd Floor  
Paterson, NJ 07501  
Attn: Ric of Way



DRAWING LIST	
C1.1	COVER SHEET
C2.1	DEMOLITION & SOIL EROSION CONTROL PLAN
C2.2	SITE PLAN
C2.3	GRADING, UTILITY & SOIL EROSION CONTROL PLAN
C2.4	LIGHTING & LANDSCAPE PLAN
C2.5	VEHICLE CIRCULATION PATHS
C3.1	SITE DETAILS
C3.2	DRAINAGE AND UTILITY DETAILS
C3.3	LANDSCAPE DETAILS
C4.1	PRELIMINARY EXTERIOR ELEVATIONS - 1
C4.2	PRELIMINARY EXTERIOR ELEVATIONS - 2
C4.3	PRELIMINARY FIRST FLOOR PLAN
C4.4	PRELIMINARY SECOND FLOOR PLAN
C4.5	PRELIMINARY THIRD FLOOR PLAN
C4.6	PRELIMINARY FOURTH FLOOR PLAN
SV-1	LOCATION & TOPOGRAPHIC SURVEY

**ZONING NOTES**

- OWNER/APPLICANT: 51 QUEEN ANNE ROAD REALTY LLC  
C/O AMIR DAIBES P.E. MANAGING MEMBER  
3 HUBBARDTOWN ROAD  
WAYNE, NJ 07470
  - LOCATION: BLOCK 95, LOTS 1.01 & 1.02  
51 QUEEN ANNE ROAD  
BOGOTA, COUNTY OF BERGEN, NJ 07603
  - ZONE: B 1 - BUSINESS RETAIL
  - USE: (SCHEDULE 2-1 SCHEDULE OF DISTRICT USE REGULATIONS)  
EXISTING - AUTOMOBILE SERVICE STATION (PERMITTED WITH CONDITIONS)  
PROPOSED - MULTI-FAMILY APARTMENT BUILDING (NOT PERMITTED)
  - LOT AND BULK REQUIREMENTS (COMMERCIAL DISTRICTS):  
(SCHEDULE 2-2 AREA, BULK & YARD REQUIREMENTS)
- |                                                         | REQUIRED | EXISTING                            | PROVIDED |
|---------------------------------------------------------|----------|-------------------------------------|----------|
| MIN. LOT AREA (SF)                                      | 4,000    | LOT 1.01: 25,535<br>LOT 1.02: 3,108 | 28,641   |
| MIN. LOT WIDTH (FT.)                                    | 40       | 188.8                               | NC       |
| MIN. LOT DEPTH (FT.)                                    | 100      | 150                                 | NC       |
| MIN. FRONT YARD SETBACK(QUEEN ANNE)(FT.)                | 0        | 0.6                                 | 7        |
| MIN. FRONT YARD SETBACK(ROUTE 80)(FT.)                  | 0        | 67                                  | 2.4      |
| MIN. SIDE YARD SETBACK(FT.)                             | 0        | 49.2                                | 25       |
| MIN. REAR YARD SETBACK(FT.)                             | 15       | 39.8                                | 15       |
| MAX. BALCONY PROJECTION IN YARD(FT.)                    | 2        | NA                                  | 5 (V)    |
| MAX. BUILDING HEIGHT(FT.) (FROM AVG. GRADE TO MEAN HT.) | 35       | COMPLIES                            | 58 (V)   |
| MAX. BUILDING HEIGHT(STORIES)                           | 3        | 1                                   | 4 (V)    |
| MAX. LOT COVERAGE (BUILDING %)                          | 75       | 18                                  | 60       |
| MAX. IMPROVED LOT COVERAGE(%)                           | 90       | COMPLIES                            | 90       |
- OFF STREET PARKING: (SCHEDULE A PARKING STANDARDS):  
REQUIRED:  
\* DWELLING UNITS: 2 SPACES/UNIT X 34 UNITS = 68 - 7 (10% REDUCTION FOR EVSE CHARGING SPACES)  
\*\* MIN. EV CHARGING SPACES(15% OF REQUIRED FOR APPLICATIONS WITH 5 OR MORE UNITS) (EACH EV CHARGING SPACE SHALL BE COUNTED AS 2 PROVIDED SPACES FOR MAXIMUM REDUCTION UP TO 10% OF REQUIRED, ROUNDED UP TO THE NEXT FULL PARKING SPACE)  
MAX. REDUCTION PERMITTED BASED ON 10% OF REQUIRED 68 PARKING SPACES  
\*\* ADA SPACES WITH EV CHARGING 5% OF 11  
MIN. AISLE WIDTH (90 DEG PARKING)(FT.) 24  
MIN. SPACE DIMENSION (FT.) 9X18  
MIN. PARKING SETBACKS(FT.):  
FROM STREET R.O.W. 5  
7. LOADING: (SCHEDULE B PARKING STANDARDS):  
REQUIRED:  
APARTMENT BUILDINGS: 1 SPACES/BUILDING=  
MIN. SPACE DIMENSION (FT.) 12X40  
8. SIGNS:  
RESIDENTIAL SIGN NUMBERS: NOT PERMITTED NA 2 (V)  
FREESTANDING SIGNS:  
MAX. AREA (SF): N/A 65± 25  
MAX. PANEL HEIGHT (FT): 5 15±(E) 5  
BUILDING SIGNS:  
MAX. AREA (SF): 10% OF FACADE ((69'x55')x1 = 379.5 SF) - 45  
MAX. SIGN PANEL HEIGHT (FT): 3 3  
MAX. SIGN WIDTH (FT.): 90% OF WALL WIDTH (69'x9 = 62.1) - 15  
ILLUMINATION  
INDIRECT/DIFFUSED INTERNALLY (E) EXTERNALLY ILLUMINATED  
NC - NO CHANGE  
NA - NOT APPLICABLE  
(E) - INDICATES AN EXISTING NON-CONFORMITY  
(V) - INDICATES A VARIANCE IS REQUIRED  
\* - PARKING REQUIREMENT PER RSIS = 60 SPACES [(10) 1 BEDROOM UNITS X 1.8 + (23) 2 BEDROOM UNITS X 2.0 + (1) 3 BEDROOM UNIT X 2.1] - 10% EV REDUCTION = 66.1 - 6.61 = 59.49  
\*\* - SENATE NO.3223 STATE OF NEW JERSEY 219 LEGISLATURE AMENDMENT TO SECTION 3.1 P.L. 1975, c.291 (C.40:55 D-1 et seq) SECTION 3(a)(1)(a)-15% SPACES SHALL BE EV CHARGING; 3(a)2-5% OF EVSE SPACES SHALL BE ADA; 4 (e); 3(a)-EV SPACES SHALL BE COUNTED AS 2 FOR THE PURPOSE OF COMPLYING WITH REQUIRED RESULTING IN REDUCTION OF NO MORE THAN 10% OF TOTAL REQUIRED.

APPROVED BY THE ZONING BOARD OF THE BOROUGH OF BOGOTA AT A MEETING HELD

APPROVED BY THE PLANNING BOARD OF COUNTY PLANNING BOARD COUNTY OF BERGEN, NEW JERSEY

ATTESTED TO BY: \_\_\_\_\_  
TITLE: \_\_\_\_\_  
DATE: \_\_\_\_\_

CHAIRPERSON \_\_\_\_\_ DATE \_\_\_\_\_  
SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_  
ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

66 GLEN AVENUE  
GLEN ROCK, NJ 07452  
P 201.670.6688  
F 201.670.9788  
www.bertinengineering.com

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CALLISTO J. BERTIN, P.E.  
PROFESSIONAL ENGINEER  
CT LIC. NO. 12950 NJ LIC. NO. 28845  
MA LIC. NO. 40595 NY LIC. NO. 60022  
NH LIC. NO. 9368 RI LIC. NO. 6694

SHAN-PEI FANCHIANG, P.E.  
PROFESSIONAL ENGINEER  
NJ LIC. NO. 37073  
NY LIC. NO. 07209

NO.	DATE	REVISION
1	12-14-21	REVISE DRAWING LIST
2	1-10-22	REVISE PER BOROUGH ENGINEER
3	1-10-22	REVISE DRAWING LIST, ADD ZONING NOTE # SIGNS

DRAWING TITLE  
**COVER SHEET**

PROJECT  
**MULTI-FAMILY APT. BUILDING**  
BLOCK 95, LOTS 1.01 & 1.02  
51 QUEEN ANNE ROAD  
BOROUGH OF BOGOTA  
BERGEN COUNTY, NEW JERSEY

CLIENT  
51 QUEEN ANNE ROAD REALTY LLC  
3 HUBBARDTOWN ROAD  
WAYNE, NJ 07470

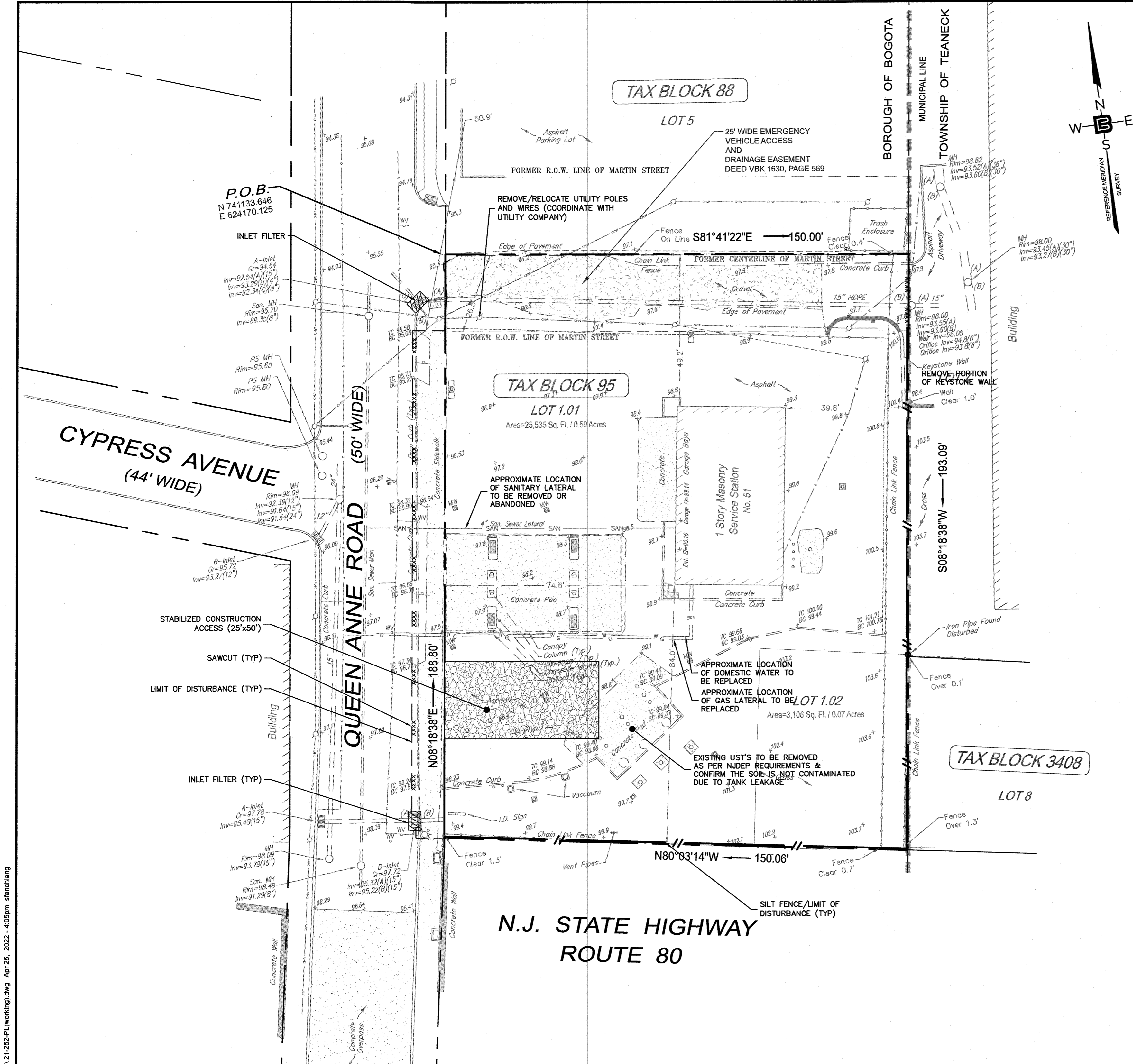
SCALE  
AS SHOWN

DATE  
12-14-21

DRAWING NO.  
21-252

REVISION NO.  
3

**C1.1**



**PRE-CONSTRUCTION NOTES:**

- UTILITY LOCATIONS SHOWN ON PLANS ARE FOR REFERENCE ONLY AND MUST BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION. ON SITE UTILITIES LOCATION BASED ON FIELD OBSERVATION. ACTUAL CONDITIONS MAY VARY.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL:
  - THOROUGHLY FAMILIARIZE HIMSELF WITH THE SITE CONDITIONS.
  - REVIEW THE SURVEY AND SITE PLANS FOR INCONSISTENCIES WITH ACTUAL CONDITIONS.
  - VERIFY FINISHED FLOOR ELEVATIONS OF EXIST. STRUCTURES TO REMAIN WITH RESPECT TO STREET ELEVATIONS SHOWN.
  - VERIFY LOCATION, DEPTH AND ELEVATION OF UTILITY CONNECTIONS.
- ALL ON-SITE FEATURES TO BE REMOVED UNLESS OTHERWISE NOTED.
- STAKE OUT NEW BUILDINGS AND VERIFY THEIR LOCATION TO PROPERTY LINES WITH RESPECT TO DIMENSIONS SHOWN ON PLANS.
- MARK LIMIT OF SOIL DISTURBANCE AND TAG ALL TREES TO BE REMOVED.
- REVIEW ALL LOCAL, COUNTY AND STATE PERMIT REQUIREMENTS FOR THE PROJECT.

**SEQUENCE OF CONSTRUCTION:**

- INSTALL SOIL EROSION CONTROL DEVICES. (2 DAYS)
  - CLEAR SITE FEATURES. (2 WEEKS)
  - REMOVE BUILDINGS. (2 WEEKS)
  - INSTALL UNDERGROUND UTILITIES. (2 WEEKS)
  - CONSTRUCT BUILDING FOUNDATION. (2 WEEKS)
  - CONSTRUCT BUILDING. (3-6 MONTHS)
  - ROUGH GRADE SITE. (1 WEEK)
  - INSTALL ASPHALT SURFACES, CONCRETE CURBS AND CONCRETE SIDEWALKS. (2 WEEKS)
  - INSTALL LANDSCAPING & LIGHTING FIXTURES. (1 WEEK)
  - REMOVE ALL SOIL EROSION CONTROL DEVICES. (1 DAY)
- CONSTRUCTION TO LAST APPROXIMATELY (9-12 MONTHS)
- TOTAL AREA OF DISTURBANCE = 0.700 ACRES

**BERGEN COUNTY SOIL CONSERVATION DISTRICT  
SOIL EROSION AND SEDIMENT CONTROL NOTES**

- All soil erosion and sediment control practices will be installed in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey (NJ Standards), and will be installed in proper sequence and maintained until permanent stabilization is established.
  - Any disturbed area that will be left exposed for more than thirty (30) days and not subject to construction traffic shall immediately receive a temporary seeding and mulching. If the season prohibits temporary seeding, the disturbed area will be mulched with unrotted straw at a rate of 2 tons per acre anchored by approved methods (i.e., peg and twine, mulch netting, or liquid mulch binder).
  - Immediately following initial disturbance or rough grading, all critical areas subject to erosion will receive a temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of 2 tons per acre, according to the NJ Standards.
  - Stabilization Specifications:
    - Temporary Seeding and Mulching:
      - Ground Limestone - Applied uniformly according to soil test recommendations.
      - Fertilizer - Apply 11 lbs./1,000 sq ft of 10-20-10 or equivalent with 50% water insoluble nitrogen (unless a soil test indicated otherwise) worked into the soil a minimum of 4".
      - Seed - Perennial Ryegrass 100 lbs./acre (2.3 lbs./1,000 sq ft) or other approved seeds; plant between March 1 and May 15 or between August 15 and October 1.
      - Mulch - Unrotted straw or hay at a rate of 70 to 90 lbs./1,000 sq ft applied to achieve 95% soil surface coverage. Mulch shall be anchored by approved methods (i.e., peg and twine, mulch netting, or liquid mulch binder).
    - Permanent Seeding and Mulching:
      - Topsoil - uniform application to a depth of 5", minimum 4" firmed in place is required.
      - Ground Limestone - Applied uniformly according to soil test recommendations.
      - Fertilizer - Apply 11 lbs./1,000 sq ft of 10-10-10 or equivalent with 50% water insoluble nitrogen (unless a soil test indicated otherwise) worked into the soil a minimum of 4".
      - Seed - Turf type tall fescue (blend of 3 cultivars) 350 lbs./acre (8 lbs./1,000 sq ft) or other approved seeds; plant between March 1 and October 1 (summer seedings require irrigation).
      - Mulch - Unrotted straw or hay at a rate of 70 to 90 lbs./1,000 sq ft applied to achieve 95% soil surface coverage. Mulch shall be anchored by approved methods (i.e., peg and twine, mulch netting, or liquid mulch binder).
  - The site shall at all times be graded and maintained such that all stormwater run-off is diverted to soil erosion and sediment control facilities.
  - Soil erosion and sediment control measures will be inspected and maintained on a regular basis, including after every storm event.
  - Stockpiles are not to be located within 50' of a floodplain, slope, roadway or drainage facility. The base of all stockpiles shall be contained by a haybale sediment barrier or silt fence.
  - A crushed stone, vehicle wheel-cleaning blanket will be installed wherever a construction access road intersects any paved roadway. Silt blanket will be composed of 1"-2 1/2" crushed stone, 6" thick, will be at least 30' x 100' and should be underlain with a suitable synthetic sediment filter fabric and maintained.
  - Maximum side slopes of all exposed surfaces shall not exceed 3:1 unless otherwise approved by the District.
  - Driveways must be stabilized with 1"-2 1/2" crushed stone or subbase prior to individual lot construction.
  - All soil washed, dropped, spilled or tracked outside the limit of disturbance or onto public right-of-ways, will be removed immediately. Paved roadways must be kept clean at all times.
  - Catch basin inlets will be protected with an inlet filter designed in accordance with Section 28-1 of the NJ Standards.
  - Storm drainage outlets will be stabilized, as required, before the discharge points become operational.
  - Dewatering operations must discharge directly into a sediment control bag or other approved filter in accordance with Section 14-1 of the NJ Standards.
  - Dust shall be controlled via the application of water, calcium chloride or other approved method in accordance with Section 16-1 of the NJ Standards.
  - Trees to remain after construction are to be protected with a suitable fence installed at the drip line or beyond in accordance with Section 9-1 of the NJ Standards.
  - The project owner shall be responsible for any erosion or sedimentation that may occur below stormwater outfalls or off-site as a result of construction of the project.
  - Any revision to the certified Soil Erosion and Sediment Control Plan must be submitted to the District for review and approval prior to implementation in the field.
  - A copy of the certified Soil Erosion and Sediment Control Plan must be available at the project site throughout construction.
  - The Bergen County Soil Conservation District must be notified, in writing, at least 48 hours prior to any land disturbance: Bergen County SCD, 700 Kinderkamack Road, Suite 106, Oradell, NJ 07649 Tel: 201-261-4407; Fax 201-261-7573.
  - The Bergen County Soil Conservation District may request additional measures to minimize on or off-site erosion problems during construction.
  - The owner must obtain a District issued report of compliance prior to the issuance of any certificate of occupancy. The District requires at least one week's notice to facilitate the schedule of all report of compliance inspections. All site work must be completed, including temporary/permanent stabilization of all exposed areas, prior to the issuance of a report of compliance by the District.
- Revised 12/7/17

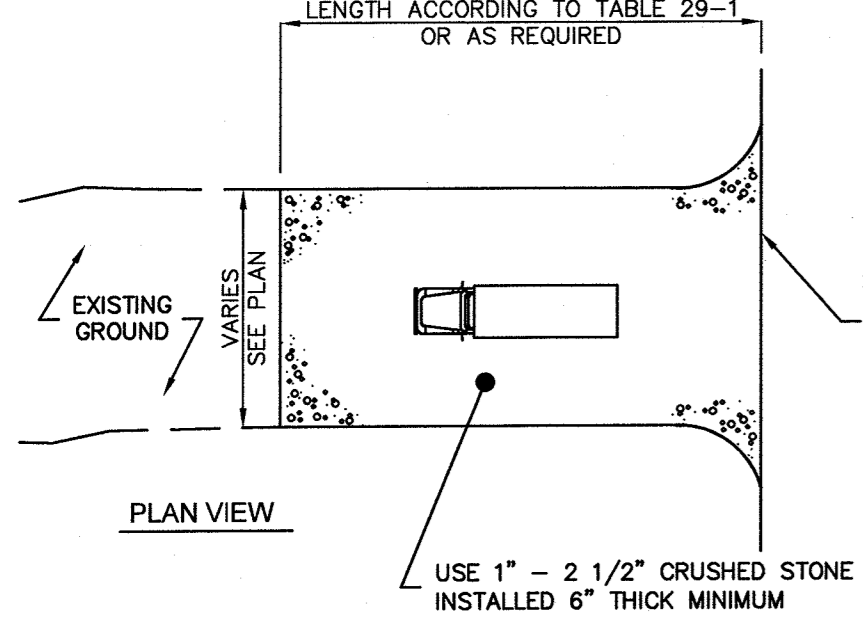
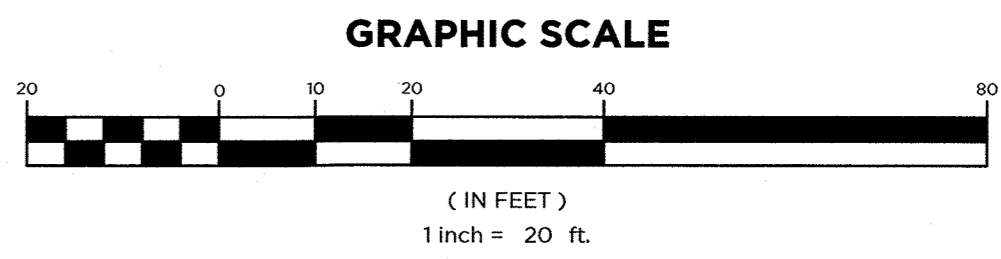
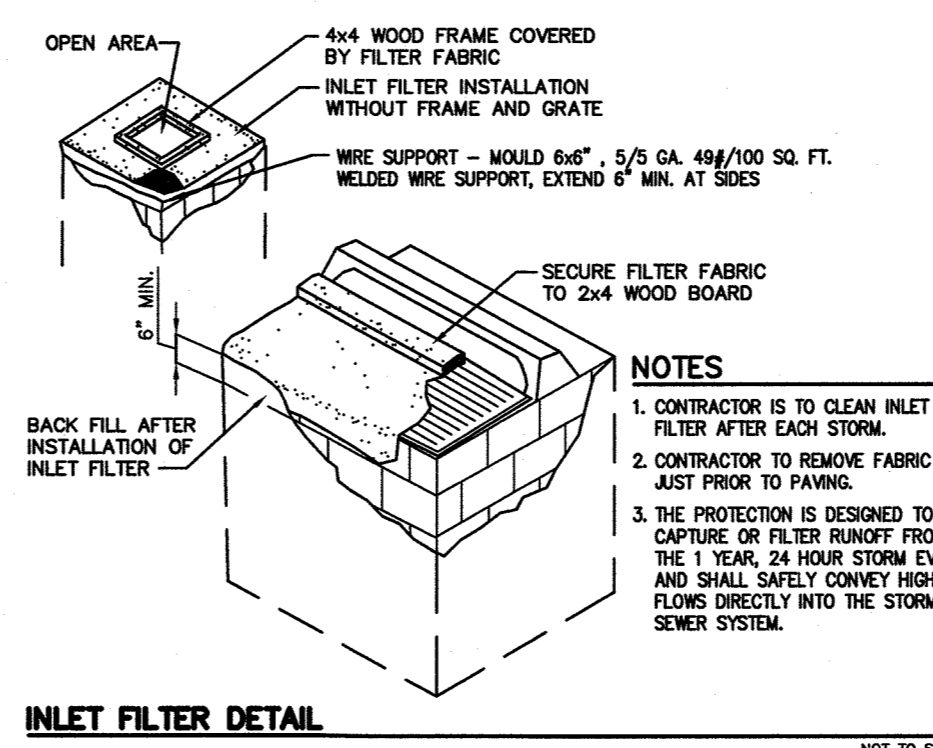
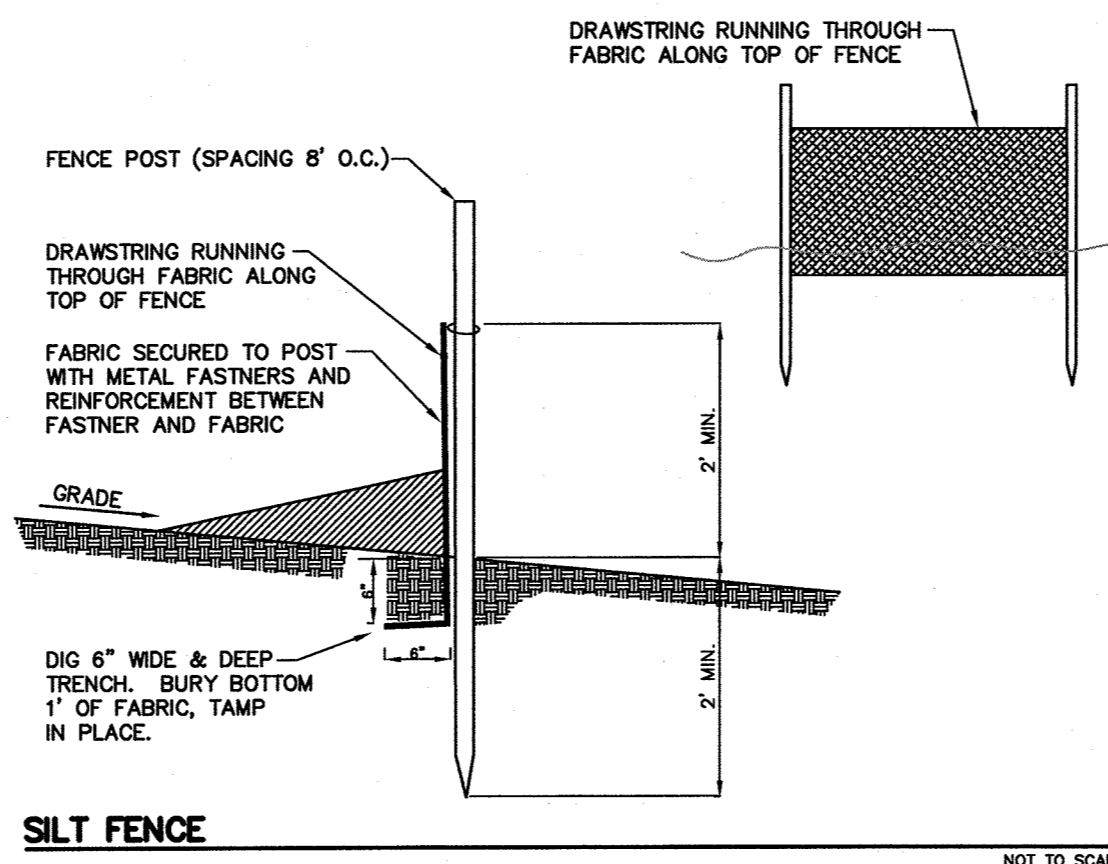


TABLE 29-1: LENGTHS OF CONSTRUCTION EXITS ON SLOPING ROADBEDS

PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2 TO 5%	100 FT	200 FT
> 5%	ENTIRE SURFACE STABILIZED WITH FABC BASE COURSE	



66 GLEN AVENUE  
GLEN ROCK, NJ 07452  
P 201.670.6888  
F 201.670.9788  
www.bertinengineering.com



**CALISTO J. BERTIN, P.E.**  
PROFESSIONAL ENGINEER  
CT LIC. NO. 12950 NJ LIC. NO. 28845  
MA LIC. NO. 40595 NY LIC. NO. 60022  
NH LIC. NO. 9368 RI LIC. NO. 6694

**SHAN-PEI FANCHIANG, P.E.**  
PROFESSIONAL ENGINEER  
NJ LIC. NO. 37073  
NY LIC. NO. 07209

NO.	DATE	REVISION
1	1-10-22	ADD TANK REMOVAL NOTE
2	4-14-22	REVISE LIMIT OF DISTURBANCE, ADD EXISTING UTILITIES
3	4-28-22	REVISE PER BOROUGH ENGINEER
4	6-11-22	INDICATE UTILITY POLES/WIRES TO BE REMOVED/RELOCATED

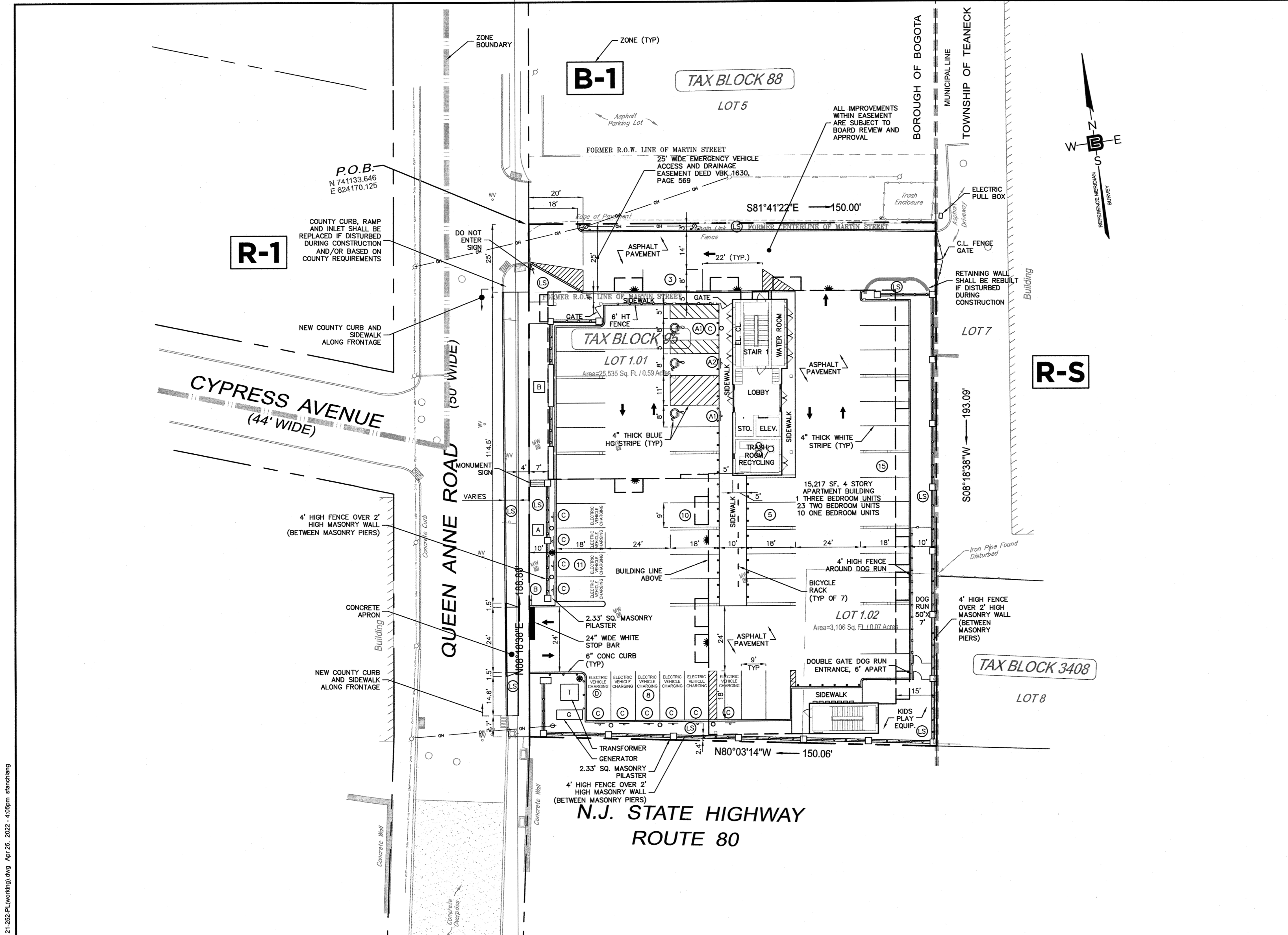
**DEMOLITION & SOIL EROSION CONTROL PLAN**

**PROJECT**  
**MULTI-FAMILY APT. BUILDING**  
BLOCK 95, LOTS 1.01 & 1.02  
51 QUEEN ANNE ROAD  
BOROUGH OF BOGOTA  
BERGEN COUNTY, NEW JERSEY

**CLIENT**  
51 QUEEN ANNE ROAD REALTY LLC  
3 HUBBARDTON ROAD  
WAYNE, NJ 07470

**DRAWN BY** J.A. **CHECKED BY** J.A.  
**SCALE** 1"=20' **PROJECT NO.** 21-252  
**DATE** 12-14-21 **REVISION NO.** 4

**C2.1**



- ### GENERAL NOTES
- PLAN BASED ON: "LOCATION AND TOPOGRAPHIC SURVEY OF 51 QUEEN ANNE ROAD, LOTS 1.01 AND 1.02 IN BLOCK 95, BOROUGH OF BOGOTA, COUNTY OF BERGEN, N.J." PREPARED BY BERTIN ENGINEERING, MILOSLAV REHAK, N.J.PLS LIC. NO. 43233, DATED SEPTEMBER 23, 2021, FILE NO. 21-252, DWG. NO. SV-1.
  - ALL FEATURES ARE EXISTING TO BE REMOVED UNLESS OTHERWISE NOTED. PROPOSED FEATURES AS SHOWN IN FULL TONE. EXISTING FEATURES ARE SHOWN IN HALF TONE. EXISTING FEATURES TO BE REMOVED ARE SHOWN AS DASHED, OR ARE NOTED.
  - LOCATION OF ALL UNDERGROUND UTILITIES IS APPROXIMATE AND SHOULD BE VERIFIED BEFORE EXCAVATION OR CONSTRUCTION BEGINS. CALL DIG HOTLINE 1-800-272-1000.
  - UNLESS OTHERWISE NOTED, MAINTAIN EXISTING YARD GRADES AND SLOPES.
  - ALL UTILITY CONNECTIONS ARE TO BE IN ACCORDANCE WITH LOCAL CODE.
  - THE SITE PLAN(S) SUPERSEDES ALL STANDARD DRAWINGS.
  - UNLESS OTHERWISE NOTED ALL DIMENSIONS AND RADII ARE SHOWN TO THE FRONT FACE OF CURBS OR WALLS.
  - ALL RADII ARE 2' UNLESS OTHERWISE NOTED.
  - APPLICANT SHALL BE RESPONSIBLE FOR THE REPAIR AND RECONSTRUCTION OF PAVEMENT CURB, SIDEWALK OR OTHER PUBLIC PROPERTY DAMAGED DURING CONSTRUCTION.
  - APPLICANT SHALL ENSURE THAT THE OPERATIONS OF SOIL MOVEMENT VEHICLES ARE NOT TO BE UTILIZED IN A WAY THAT WOULD DEPOSIT SOIL ON ANY STREET, SIDEWALK, PUBLIC PLACE, OR WITHIN ANY OTHER PRIVATE PROPERTY.
  - APPLICANT SHALL ENSURE THAT THE PROPOSED IMPROVEMENTS WILL NOT NEGATIVELY IMPACT ADJACENT LOTS, INCLUDING BUT NOT LIMITED TO DRAINAGE CONSIDERATIONS. APPLICANT SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED UPON ADJACENT LOTS, DUE TO RUNOFF.
  - APPLICANT SHALL ENSURE THAT ALL ADA ACCESSIBLE ROUTES, PARKING SPACES, SIDEWALK, RAMPS, ETC. WILL CONFORM TO THE ADA STANDARDS FOR ACCESSIBLE DESIGN PROVIDED BY THE DEPARTMENT OF JUSTICE, LATEST REVISED.
  - APPLICANT AND/OR CONTRACTOR SHALL CONTACT MR. NICK MONKANDILOS OF THE BERGEN COUNTY ENGINEERING DIVISION, AT (201)336-8815 TO ARRANGE FOR INSPECTION OF THE ITEMS OF CONSTRUCTION IDENTIFIED BY THE COUNTY PRIOR TO BEGINNING CONSTRUCTION AND WHEN CONSTRUCTION IS COMPLETED. THE COUNTY INSPECTOR HAS THE RIGHT TO REQUIRE MODIFICATIONS TO CONSTRUCTION BEYOND THE SCOPE OF THE PERFORMANCE BOND TO ENSURE COUNTY ENGINEERING SPECS ARE COMPLIED WITH AND AS NECESSITATED BY FIELD CONDITIONS.
  - ALL SIDEWALKS WITHIN THE COUNTY RIGHT-OF-WAY/ROAD WIDENING EASEMENT SHALL HAVE A MAXIMUM CROSS-SLOPE OF TWO (2%) PERCENT AND SHALL BE A MINIMUM OF FOUR (4) FEET IN WIDTH.
  - ALL PAVEMENT MARKINGS/STRIPING RELATED TO TRAFFIC CONTROL SHALL BE OF A REFLECTIVE HOT-EXTRUDED THERMOPLASTIC MATERIAL, MINIMUM 90 MIL THICKNESS, APPLIED IN ACCORDANCE WITH BERGEN COUNTY DESIGN STANDARDS AND THE MANUFACTURER'S SPECIFICATIONS FOR APPLICATION.
  - ALL TRAFFIC SIGNS MUST CONFORM IN FACE DESIGN AND CONSTRUCTION TO SPECIFICATIONS FOUND IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, U.S.D.G.T., FEDERAL HIGHWAY ADMINISTRATION. SPECIFICALLY, REGULATORY AND WARNING SIGNS SHALL BE COVERED WITH ASTM D4956 TYPE X-I SUPER HIGH EFFICIENCY FULL CUBE RETRO-REFLECTIVE SHEETING.
  - ALL TRAFFIC CONTROL SIGNS INSTALLED BY THE APPLICANT SHALL BE MAINTAINED BY THE PROPERTY OWNER AND NOT THE COUNTY.
  - APPLICANT SHALL BE RESPONSIBLE FOR THE REPAIR AND RECONSTRUCTION OF PAVEMENT, CURB, SIDEWALK, OR OTHER PUBLIC PROPERTY DAMAGED DURING CONSTRUCTION.
  - APPLICANT SHALL ENSURE THAT THE OPERATIONS OF SOIL MOVEMENT VEHICLES ARE NOT TO BE UTILIZED IN A WAY THAT WOULD DEPOSIT SOIL ON ANY STREETS, SIDEWALKS, PUBLIC PLACE OR ANY OTHER PRIVATE PROPERTY.
  - APPLICANT SHALL BE RESPONSIBLE FOR ENSURING THAT ANY AND ALL SOILS IMPORTED TO THE SITE ARE CERTIFIED CLEAN SOILS IN ACCORDANCE WITH CURRENT NJDEP STANDARDS, WITH A COPY OF THE SAID CERTIFICATION PROVIDED TO THE BOROUGH OF BOGOTA AND THE OFFICE OF PLANNING BOARD ENGINEER PRIOR TO THE IMPORT OF ANY MATERIAL BY A PROFESSIONAL.
  - RECYCLED MATERIALS ARE NOT PERMITTED FOR THE PURPOSES OF BACKFILLING A VACATED EXCAVATION AREA.
  - ANY ADJACENT STRUCTURE, RETAINING WALL, LANDSCAPING, CURB, PIPING, PAVEMENT, FENCING, ETC. DAMAGED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED.
  - ALL CONSTRUCTION WORK FOR THE PROJECT MUST BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), THE NEW JERSEY UNIFORM CODE, AND GOOD CONSTRUCTION AND ENGINEERING PRACTICE AS IT PERTAINS TO SAFETY.

66 GLEN AVENUE  
GLEN ROCK, NJ 07452  
P 201.670.6688  
F 201.670.9788  
www.bertinengineering.com



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**SHAN-PEI FANCHIANG, P.E.**  
PROFESSIONAL ENGINEER  
NJ LIC. NO. 37073  
NY LIC. NO. 07209

NO.	DATE	REVISION
1	12-14-21	ISSUE FOR PERMIT
2	12-14-21	REVISE BUILDING FOOTPRINT & DRIVEWAYS
3	12-14-21	REVISE PARKING & APARTMENT UNIT LAYOUT
4	12-14-21	REVISE PER BOROUGH ENGINEER

### LEGEND

	EXISTING EDGE OF PAVEMENT		PROPOSED EDGE OF PAVEMENT
	TRAFFIC SIGN		HANDICAP RAMP
	AREA LIGHT		SIDEWALK
	FIRE HYDRANT		DEPRESSED CURB
	UTILITY POLE		FIRE HYDRANT
	SPOT ELEVATION		DRAINAGE MANHOLE
	TOP OF CURB		CURB INLET
	BOTTOM OF CURB		YARD INLET
	GAS VALVE		INLET FILTER
	WATER VALVE		SAN. MAN HOLE
	SANITARY MANHOLE		ELECTRIC LINE
	DRAINAGE MANHOLE		GAS LINE
	MONITORING WELL		WATER LINE
	TELEPHONE BOOTH		PROPOSED SANITARY LINE
	TREELINE		DRAINAGE LINE (UNDER 15')
	EXISTING CONTOUR		DRAINAGE LINE (15' & UP)
	EXISTING OVERHEAD WIRE		SAWCUT LINE
	EXISTING GAS MARK-OUT		PROPOSED SPOT ELEVATION
	EXISTING WATER MARK-OUT		PROPOSED CONTOUR LINE
	EXISTING ELECTRIC MARK-OUT		MEET EXISTING GRADE
			EXISTING TO REMAIN
			TRAFFIC SIGN
			AREA LIGHT

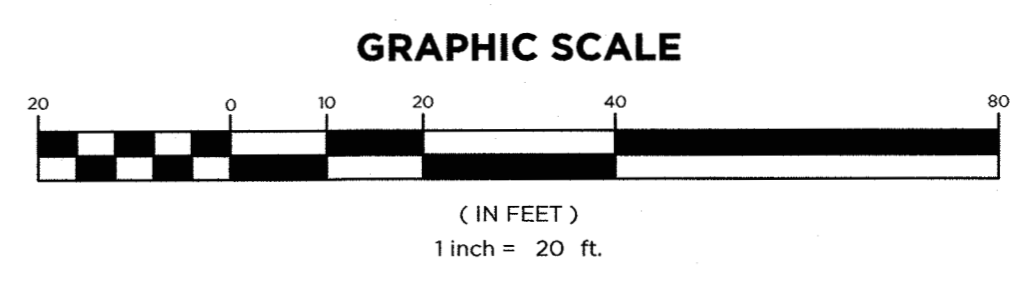
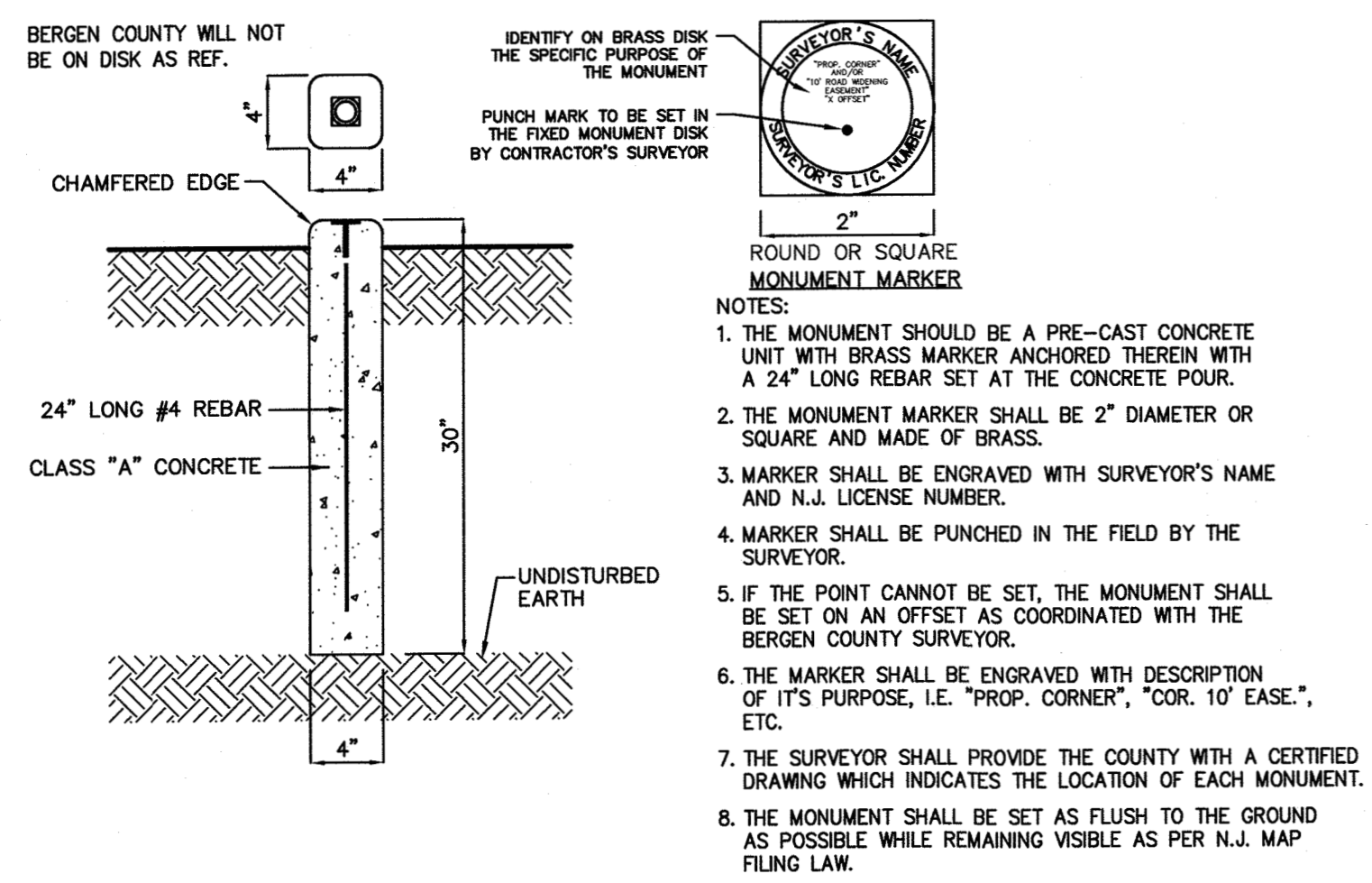
### TRAFFIC SIGN LEGEND (MUTCD)


\* TRAFFIC SIGNS TO BE IN ACCORDANCE WITH MUTCD

### BUSINESS SIGN LEGEND

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NOTE: ALL SIGNS SHALL BE EXTERNALLY ILLUMINATED



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**BERGEN COUNTY SITE PLAN AND SUBDIVISION MONUMENT INSTALLATION DETAIL**  
NOT TO SCALE

DRAWING TITLE: **SITE PLAN**

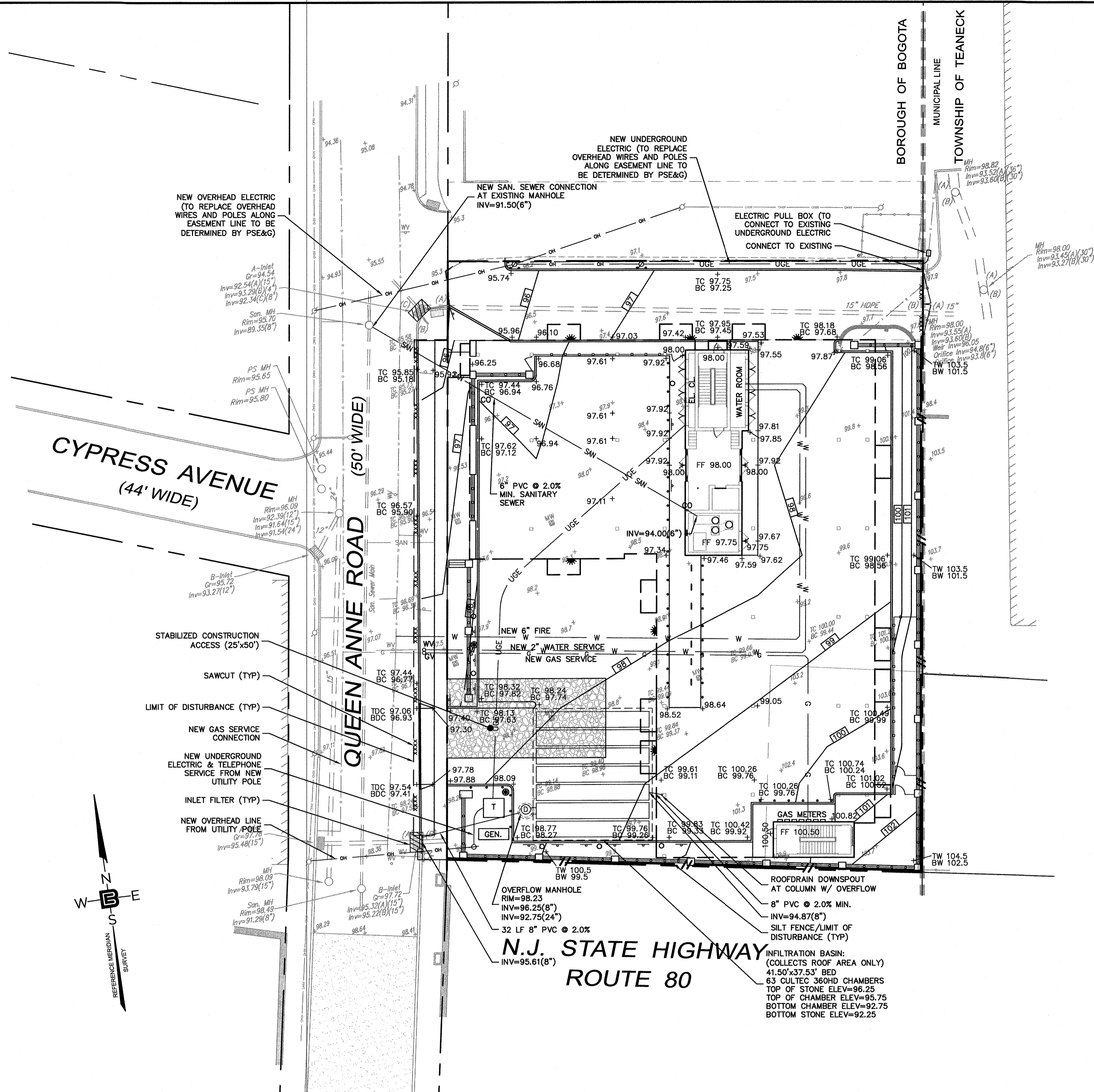
PROJECT: **MULTI-FAMILY APT. BUILDING**  
BLOCK 95, LOTS 1.01 & 1.02  
51 QUEEN ANNE ROAD  
BOROUGH OF BOGOTA  
BERGEN COUNTY, NEW JERSEY

CLIENT: **51 QUEEN ANNE ROAD REALTY LLC**  
3 HUBBARDTON ROAD  
WAYNE, NJ 07470

CERTIFICATE OF AUTHORIZATION  
24GAZ068900 / 21MH0002800

DRAWN BY: J.A. CHECKED BY: J.A.  
SCALE: 1"=20' PROJECT NO: 21-252  
DATE: 12-14-21 REVISION NO: 4  
DRAWING NO: **C2.2**

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**UTILITY NOTES**

- 1.0 GENERAL**
- 1.1 ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS.
  - 1.2 METER LOCATIONS SHOWN HERE ARE SCHEMATIC. ACTUAL LOCATIONS TO BE DETERMINED BY UTILITY & ARCHITECT.
  - 1.3 REFER TO PLUMBING PLANS FOR LOCATION OF DOWNSPOUTS, SANITARY LATERALS & UTILITY SERVICE ENTRANCES.
  - 1.4 ALL UTILITIES IN PARKING LOT ARE TO BE PROTECTED FROM IMPACT.
  - 1.5 CONTACT UTILITIES TO DETERMINE EXACT LOCATION OF CONNECTION AND WHERE PRACTICAL, IF EXISTING CONNECTIONS ARE TO BE MAINTAINED.
  - 1.6 DISCONNECT ALL UTILITIES, DETERMINE WHERE APPLICABLE, IF ANY EXISTING LATERALS ARE TO BE REUSED. UNUSED SANITARY SEWER LATERALS ARE TO BE REMOVED TO THE MAIN AND THE MAIN SEALED.
  - 1.7 ANY ADDITIONAL EXISTING UTILITY CONNECTIONS FOUND ARE TO BE ABANDONED AND MUST BE CUT AND CAPPED AT MAIN OR REUSED IF APPROVED BY ARCHITECT.

**2.0 WATER**

- 2.1 WHERE WATER MAIN IS LOCATED WITHIN 10' HORIZONTALLY OF THE SEWER MAIN, IT SHALL BE AT LEAST 18" HIGHER OR CONCRETE ENCASED.
- 2.2 WATER LATERALS TO BE SIZED BY MECHANICAL ENGINEER.

**DRAINAGE NOTE**

PRIOR TO CONSTRUCTION, A SOIL BORING AND/OR TEST PIT MUST BE PERFORMED IN THE LOCATION OF THE PROPOSED INFILTRATION BASIN TO DETERMINE THE SEASONAL HIGH WATER TABLE OF THE UNDERLYING SOILS. THE BOROUGH ENGINEER'S OFFICE MUST WITNESS THE TEST. RESULTS OF THE TEST MAY REQUIRE MODIFICATION TO THE DESIGN OF THE PROPOSED INFILTRATION BASIN.

**SANITARY SEWER GENERATION**

PROPOSED AVERAGE DAILY SEWER FLOW (BASED ON N.J.A.C. 7:14A-23.3)

- 10 - 1 BEDROOM UNITS: 10 x 150 GPD = 1,500 GPD
  - 23 - 2 BEDROOM UNITS: 23 x 225 GPD = 5,175 GPD
  - 1 - 3 BEDROOM UNITS: 1 x 300 GPD = 300 GPD
- TOTAL: 1,500 GPD + 5,175 GPD + 300 GPD = 6,975 GPD

**STORMWATER MANAGEMENT SYSTEM MAINTENANCE NOTES**

1. OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF STORMWATER MANAGEMENT FACILITIES.
2. FREQUENCY OF INSPECTION: AT LEAST TWICE A YEAR AND AFTER EVERY MAJOR STORM EVENT (1" IN 1 HOUR).
3. APPLICABLE STORMWATER MANAGEMENT FACILITIES:  
UNDERGROUND INFILTRATION BASIN  
ROOF DRAINS & OVERFLOWS
4. REQUIRED MAINTENANCE ACTIVITIES:  
A. INSPECT STORMWATER MANAGEMENT FACILITIES AND REMOVE SEDIMENT, DEBRIS AND LITTER ACCUMULATION.  
B. INSPECT PIPES AND OUTLET STRUCTURES AND REMOVE BLOCKAGES.  
C. ALL STORMWATER MANAGEMENT FACILITIES, INCLUDING PIPES AND STRUCTURES ARE TO BE CLEANED AT LEAST TWICE A YEAR.
5. SHOULD INSPECTION OF FACILITIES INDICATE THAT REPAIRS ARE NEEDED, THE REQUIRED REPAIR SHALL BE PERFORMED PROMPTLY.

**3.0 STORM & SANITARY SEWER**

- 3.1 COORDINATE SEWER CONNECTIONS WITH PLUMBING PLANS.
- 3.2 MANHOLE COVERS SHALL READ "BOROUGH OF BOGOTA (YEAR)"
- 3.3 ALL WORK TO BE IN CONFORMANCE WITH THE GUIDELINES OF THE LOCAL PLUMBING SUBCODE.
- 3.4 THE LOCAL MUA SHALL BE NOTIFIED AT THE COMMENCEMENT OF WORK AND 24 HOURS PRIOR TO FINAL CONNECTION TO THE COLLECTION SYSTEM AND BACKFILL.
- 3.5 THE APPLICANT/OWNER SHALL BE RESPONSIBLE FOR THE PROPOSED SEWER UP TO THE POINT OF CONNECTION TO THE BOROUGH OF FAIR LAWN SYSTEM.
- 3.6 THE APPLICANT/OWNER SHALL BE RESPONSIBLE FOR ANY NEGATIVE DRAINAGE IMPACTS TO ADJACENT PROPERTIES DUE TO ON-SITE IMPROVEMENTS. SHOULD A NEGATIVE IMPACT BE IDENTIFIED UPON COMPLETION OF THE PROJECT, THE IMPACT SHALL BE ADDRESSED IMMEDIATELY.
- 3.7 EXISTING SANITARY SEWER SHOULD BE TV INSPECTED BEFORE & AFTER CONSTRUCTION. G.C. TO PROVIDE COPY TO THE BOROUGH ENGINEER.

**4.0 ELECTRIC/COMMUNICATIONS**

- 4.1 COORDINATE WITH PSE&G, VERIZON, AND CABLE COMPANIES.

**5.0 NATURAL GAS**

- 5.1 NATURAL GAS PIPES TO BE SIZED BY PSE&G.

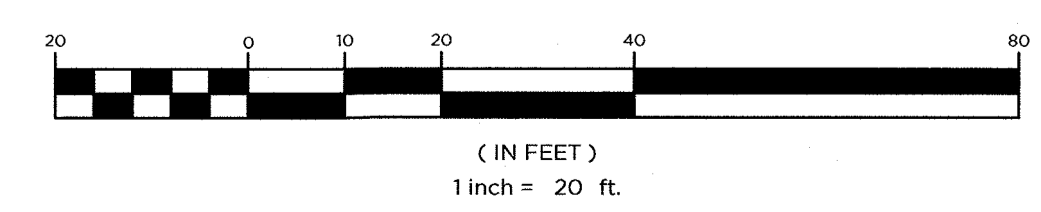
**SOIL EROSION NOTES**

1. SEE SHEET C2.1 FOR BERGEN COUNTY SOIL CONSERVATION NOTES, SEQUENCE OF CONSTRUCTION & DETAILS.

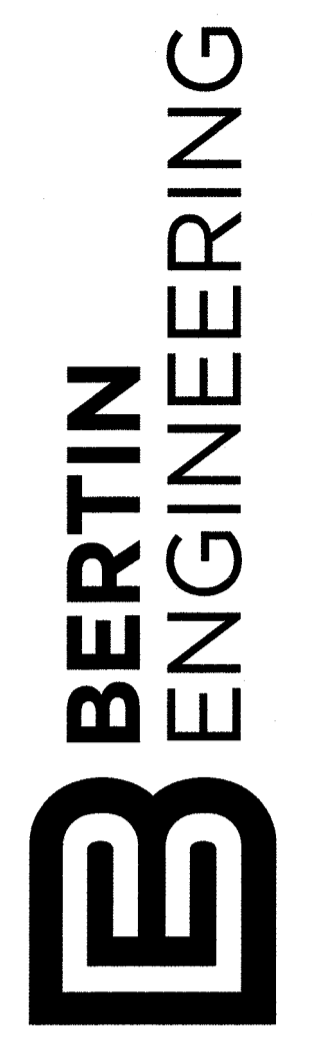
**LEGEND**

EOP	EXISTING EDGE OF PAVEMENT	R	PROPOSED EDGE OF PAVEMENT
T	TRAFFIC SIGN	R	HANDICAP RAMP
AL	AREA LIGHT	SW	SIDEWALK
FH	FIRE HYDRANT	DC	DEPRESSED CURB
UP	UTILITY POLE	FH	FIRE HYDRANT
x 00.00	SPOT ELEVATION	DM	DRAINAGE MANHOLE
x TC 00.00	TOP OF CURB	CI	CURB INLET
x BC 00.00	BOTTOM OF CURB	YI	YARD INLET
CV	GAS VALVE	IF	INLET FILTER
WV	WATER VALVE	SMH	SAN. MAN HOLE
SMH	SANITARY MANHOLE	E	ELECTRIC LINE
DM	DRAINAGE MANHOLE	G	GAS LINE
MW	MONITORING WELL	W	WATER LINE
TB	TELEPHONE BOOTH	S	PROPOSED SANITARY LINE
TL	TREELINE	D	DRAINAGE LINE (UNDER 15')
OC	EXISTING CONTOUR	D	DRAINAGE LINE (15' & UP)
OH	EXISTING OVERHEAD WIRE	+	PROPOSED SPOT ELEVATION
GMO	EXISTING GAS MARK-OUT	14	PROPOSED CONTOUR LINE
WMO	EXISTING WATER MARK-OUT	MEG	MEET EXISTING GRADE
E	EXISTING ELECTRIC MARK-OUT	ETR	EXISTING TO REMAIN
		T	TRAFFIC SIGN
		AL	AREA LIGHT

**GRAPHIC SCALE**



66 GLEN AVENUE  
GLEN ROCK, NJ 07452  
TEL: 201.770.9988  
F: 201.770.9988  
www.bertinengineering.com



**CALISTO J. BERTIN, P.E.**  
PROFESSIONAL ENGINEER  
CT LIC. NO. 12950 NJ LIC. NO. 28845  
MA LIC. NO. 40595 NY LIC. NO. 60022  
NH LIC. NO. 9368 RI LIC. NO. 6694

**SHAN-PEI FANCHIANG, P.E.**  
PROFESSIONAL ENGINEER  
NJ LIC. NO. 37073  
NY LIC. NO. 071209

NO.	REVISION	DATE	BY	CHKD.
4	INDICATE NEW UTILITY POLE & WIRE LOCATIONS			
3	REVISE PER BOROUGH ENGINEER			
2	REVISE PARKING LOT DRAINAGE & SANITARY SEWER LATERAL			
1	ADD ADA RAMP DETAIL; REVISE UTILITIES			
1	REVISE PER BOROUGH ENGINEER			

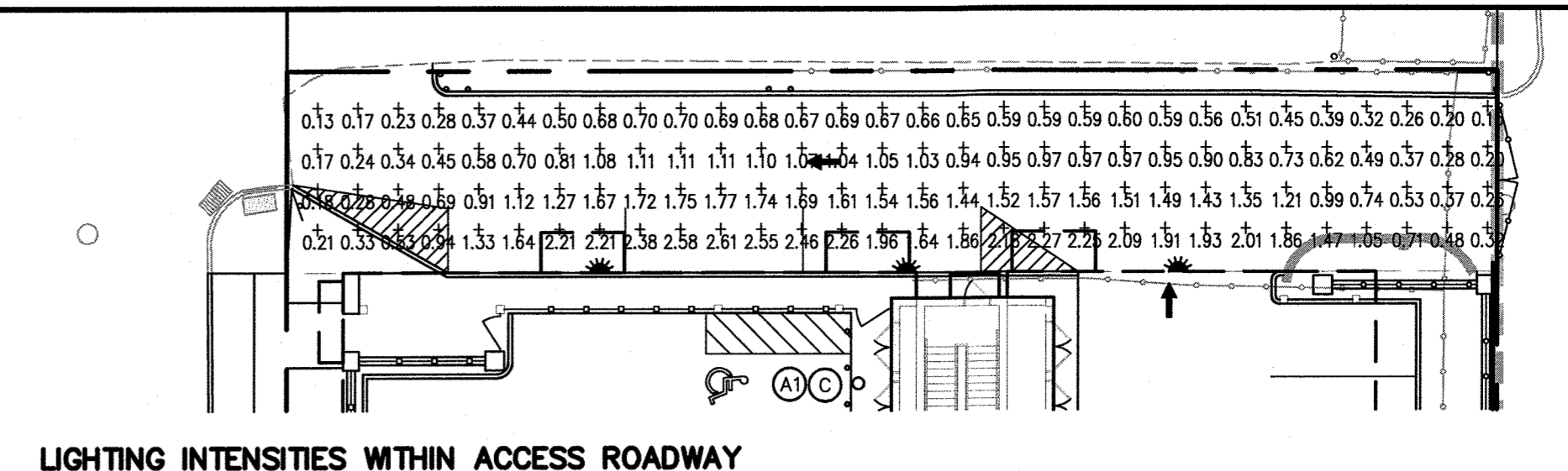
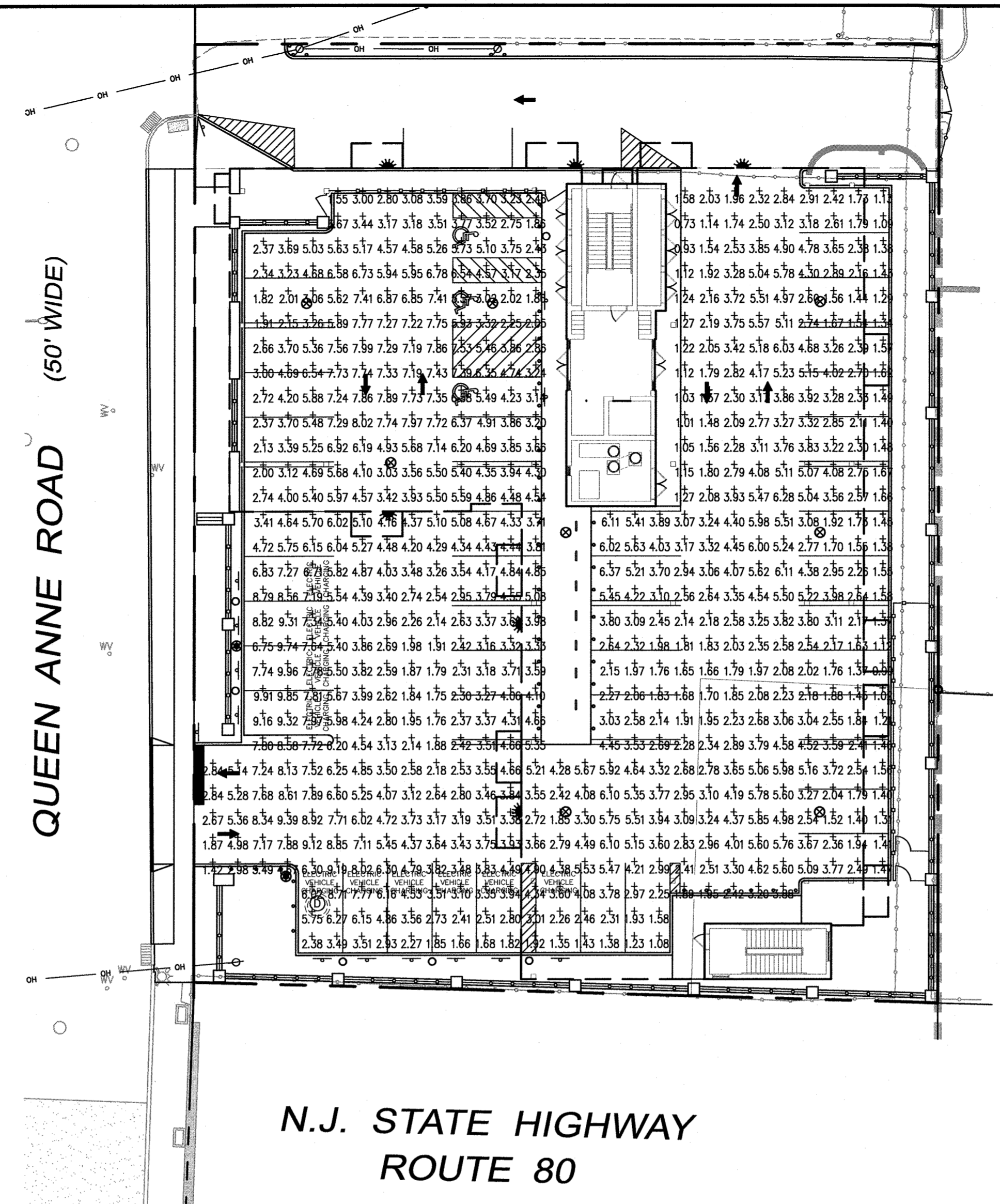
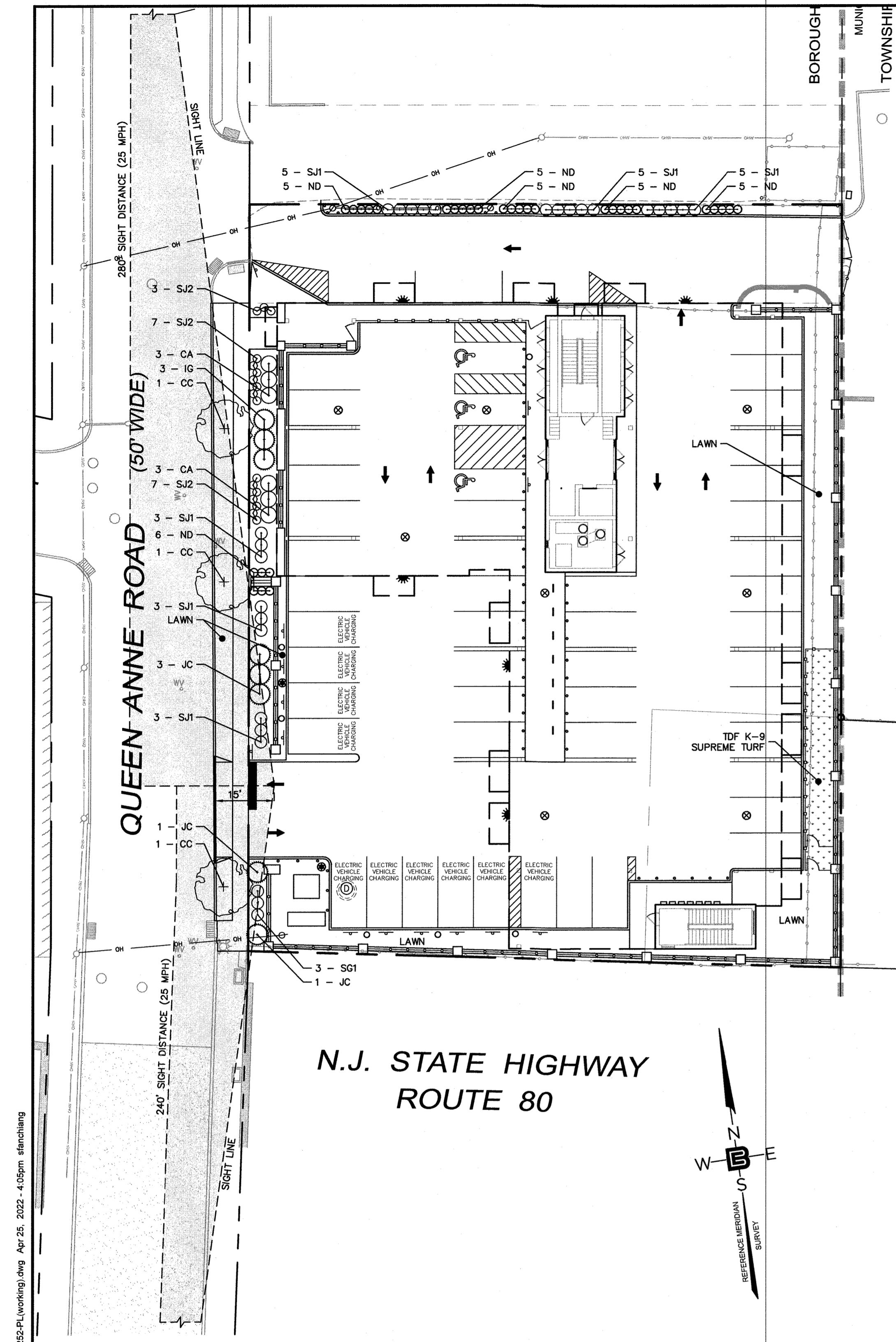
**GRADING, UTILITY & SOIL EROSION CONTROL PLAN**

**MULTI-FAMILY APT. BUILDING**  
BLOCK 95, LOTS 1.01 & 1.02  
51 QUEEN ANNE ROAD  
BOROUGH OF BOGOTA  
BERGEN COUNTY, NEW JERSEY

CLIENT  
**51 QUEEN ANNE ROAD REALTY LLC**  
3 HUBBARDTON ROAD  
WAYNE, NJ 07470

CERTIFICATE OF AUTHORIZATION 24G28068900 / ZINH00002800	
DRAWN BY J.A.S.	CHECKED BY J.A.
SCALE 1"=20'	PROJECT NO. 21-252
DATE 12-14-21	REVISION NO. 4

**C2.3**



**LIGHTING SCHEDULE**

CONTOUR LEVELS: A= 5.00 B= 1.00 C= 0.50  
 Multi-Family Apartment Building (21-252) LUMINAIRE SCHEDULE

SYM	DESCRIPTION	AMP	LUMENS	MOUNTING/BALLAST	LUF	QTY
A1	LSI INDUSTRIES (1) LPM-F1-F1-LED-18L-30-L	(1) LEDS	13083	14 FT. Mounting HL, 3000K Warm White LEDs, Forward Throw Distribution with Integral Lower Shield	0.85	2
S1	GARDOO (1) SPPG-A05-630-G2-T3A	(1) LEDS	9982	12 FT. Mounting HL, 3000K Warm White LEDs, Type 3 Asymmetric Distribution	0.85	8
W1	PHILIPS GARDOO (1) PWS-140-450-WW-G2-2-UNW	(1) LEDS	9786	14 FT. Mounting HL, 3000K Warm White LEDs, Type 2 Distribution	0.85	3
W2	PHILIPS GARDOO (1) PWS-140-650-WW-G2-2-UNW	(1) LEDS	9786	14 FT. Mounting HL, 3000K Warm White LEDs, Type 2 Distribution	0.85	3

**SUMMARY OF LIGHTING INTENSITIES WITHIN PARKING LOT**

Calculation Summary

AREA NAME	DIMENSIONS	GRID / TYPE	# PITS	SPAC	GROUP TAW	MAX LUM	MIN LUM	MAX/AVERAGE	MIN/AVERAGE	
Area 1	310.00x270.00FT	Grid / H-H	897	5.00	<+>	3.94	9.96	0.73	13.66	5.41

**SUMMARY OF LIGHTING INTENSITIES WITHIN ACCESS ROADWAY**

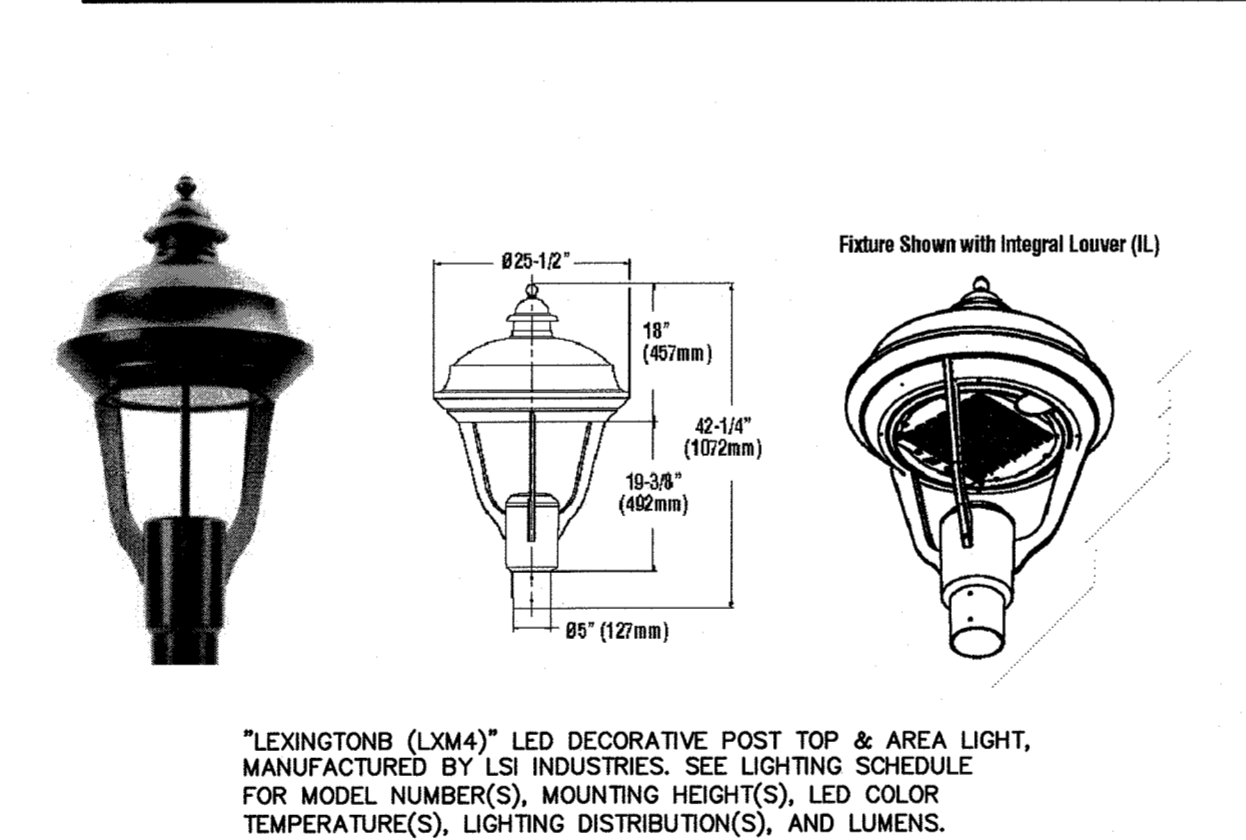
Calculation Summary

AREA NAME	DIMENSIONS	GRID / TYPE	# PITS	SPAC	GROUP TAW	MAX LUM	MIN LUM	MAX/AVERAGE	MIN/AVERAGE	
Area 1	310.00x270.00FT	Grid / H-H	120	5.00	<+>	3.94	9.96	0.13	19.77	7.84

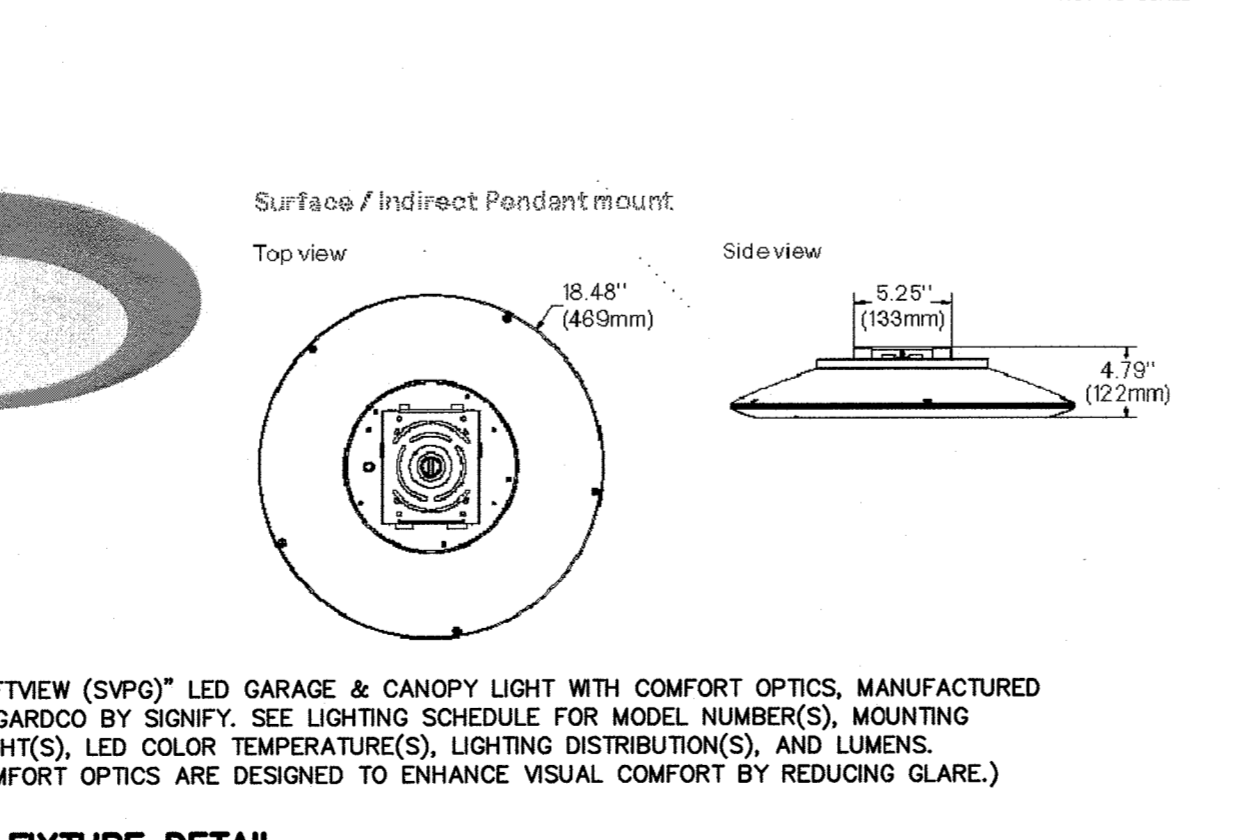
**PLANT LIST**

KEY	QTY.	BOTANICAL NAME	COMMON NAME	PLANTING SIZE		MATURE SIZE		SPACING
				HEIGHT	ROOT	HEIGHT	SPREAD	
<b>DECIDUOUS SHRUBS</b>								
CA	6	CLETHRA ALNIFOLIA "HUMMINGBIRD"	HUMMINGBIRD CLETHRA (SUMMERMEEET)	18" - 24"	2 GAL.	3'-4'	4'-5'	4' O.C.
SJ1	32	SPIREA JAPONICA "LITTLE PRINCESS"	LITTLE PRINCESS SPIREA	18" - 24"	2 GAL.	2'-3"	2'-3"	3' O.C.
SJ2	17	SPIREA JAPONICA "MAGIC CARPET"	MAGIC CARPET SPIREA	15" - 18"	1 GAL.	18"-24"	24"	2' O.C.
<b>EVERGREEN SHRUBS</b>								
IG	3	ILEX GLABRA "PRINCETON COMPACT"	PRINCETON COMPACT HAWTHORN	24" - 36"	3 GAL.	5'-6"	5'-6"	5' O.C.
JC	5	JUNIPERUS CONFERTA "BLUE PACIFIC"	BLUE PACIFIC SHORE JUNIPER	6" - 9"	1 GAL.	12"-18"	4'-6"	5' O.C.
ND	26	NANDINA DOMESTICA "HARBOR DWARF"	HARBOR DWARF NANDINA	15" - 18"	1 GAL.	24"	24"	2' O.C.
TO	19	THUJA OCCIDENTALIS "SMARAGO"	EMERALD GREEN ARBORWITAE	3' - 4'	10 GAL.	12"-15"	3'-4"	3' O.C.
<b>ORNAMENTAL TREES</b>								
CC	3	CERCIS CANADENSIS	EASTERN REDBUD	5' - 7' 1 1/2" CAL. MIN.	B&B	20'-30'	25'-35'	AS SHOWN

**LIGHTING INTENSITIES WITHIN PARKING LOT**



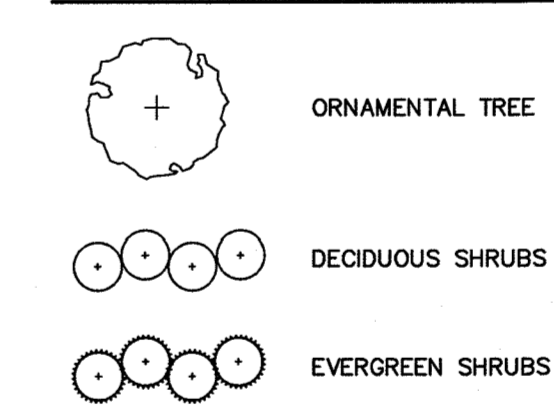
**LED AREA LIGHT FIXTURE DETAIL**



**LANDSCAPE NOTES**

- ALL LANDSCAPED AREAS TO RECEIVE A TWELVE INCH (12") LAYER OF COMPACTED TOPSOIL.
- ALL PLANT MATERIAL TO BE BALLED & BURLAPPED AND CONFORM TO U.S.A. STANDARD FOR NURSERY STOCK U.S.A. Z 60.1-1989.
- SHRUBS SHALL BE PLANTED IN PITS WITHIN THE BED ONE FOOT GREATER THAN THE SPREAD OF THE ROOTS AND 18" DEEP BELOW FINISH GRADE OR AS DEEP AS IS NECESSARY TO PROPERLY SET THE PLANT AT FINISH GRADE. THE DEPTH OF THE PLANTING PIT SHALL BE ADJUSTED AS NECESSARY TO PERMIT A MINIMUM OF (3") THREE INCHES OF TOPSOIL UNDER BALL OF ALL PLANTS.
- TOP SOIL USED FOR PLANTING SHALL BE A MIXTURE OF THREE PARTS TOP SOIL TO ONE PART PEAT.
- IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED, ALL TREE & SHRUB PITS SHALL BE MULCHED WITH A (4") FOUR INCH LAYER OF ROOT MULCH. THE LIMIT OF THIS MULCH FOR TREES SHALL BE AREA OF THE PIT & FOR SHRUBS IN BEDS, THE ENTIRE AREA OF SHRUB BED.
- CUT AND REMOVE BURLAP FROM TOP 1/3 OF BALL. NYLON ROPE AND OR NYLON BALLING MATERIAL IS NOT ACCEPTABLE.
- IF THERE IS A DISCREPANCY BETWEEN THE PLANT COUNT SHOWN IN THE PLANT LIST AND THE PLANTING GRAPHIC, THE GRAPHIC SHALL TAKE PRECEDENCE.
- IF THE CONTRACTOR FINDS QUESTIONABLE SUBGRADE MATERIAL/SOIL CONDITIONS THAT ARE DETERIORATED TO PLANT SURVIVAL AND GROWTH OR INHIBIT DRAINAGE HE SHALL NOTIFY THE BOROUGH LANDSCAPE ARCHITECT AND OWNER'S LANDSCAPE ARCHITECT IMMEDIATELY AND PRIOR TO INSTALLATION OF PLANT MATERIALS UPON FINDINGS OF SUCH QUESTIONABLE MATERIAL.
- PLANT GROUNDCOVERS IN 8" DEEP TOPSOIL BED CONSISTING OF 3 PARTS TOPSOIL AND 1 PART HUMUS. PLANT BULBS IN NATURALIZED DRIFTS.
- TOPSOIL AND SEED ALL AREAS DISTURBED AS A RESULT OF ANY AND ALL CONSTRUCTION DISTURBANCES, OR STORAGE OF EQUIPMENT, WHETHER SUCH AREAS ARE SHOWN ON THE PLANS OR NOT. CONTRACTOR TO FIELD VERIFY AREAS OF SEED AND OF SOD PRIOR TO SUBMITTING BID.
- CONTRACTOR SHALL REVIEW THE "PROTECTION AGAINST AND REMEDIATION OF EXCESS SOIL COMPACTION".
- CONTRACTOR SHALL REVIEW AND COORDINATE HIS WORK WITH THAT OF THE WORK SHOWN ON THE LANDSCAPING PLAN DEVELOPED BY THE APPLICANT'S LANDSCAPE ARCHITECT.
- UTILITIES/STRUCTURES, CONDUITS ARE TO BE PLACED ALONG THE INSIDE OF CURBING, BOTH EXISTING AND PROPOSED TO ENSURE THAT THEY DO NOT INTERFERE WITH THE INSTALLATION/PLANTING OF PROPOSED CANOPY TREES, EVERGREEN TREES, SHRUBS AND GROUND COVER. ANY CONDUITS, LINES, STRUCTURES FOUND TO BE IN INTERFERENCE OF PROPOSED PLANTINGS SHALL BE REARRANGED, REMOVED AND REPLACED AT CONTRACTOR'S EXPENSE.
- AT ALL AREAS PROPOSED FOR PLANTINGS AND LANDSCAPING THE CONTRACTOR SHALL REMOVE ALL EXISTING DRIVEWAY/ASPHALT PAVEMENT AND STRUCTURE MATERIALS TO FULL DEPTH INCLUDING ALL SUBBASE MATERIAL. SUBGRADE SHALL BE TILLED/RIPPED TO SOFTEN SUBGRADE. ENTIRE AREA SHALL BE BACK FILLED WITH UP TO NOT LESS THAN 12" OF TOPSOIL.
- FURNISH AN IRRIGATION SYSTEM AT ALL LANDSCAPED AREAS. IRRIGATION SYSTEM TO BE DESIGNED BY A PERSON LICENSED IN THE STATE OF NEW JERSEY.
- ALL DISTURBED WORK AREAS SHALL BE STABILIZED WITH TOP SOI LSEED, HAY, AND STRAW MULCH TO ENSURE LAWN GROWTH.

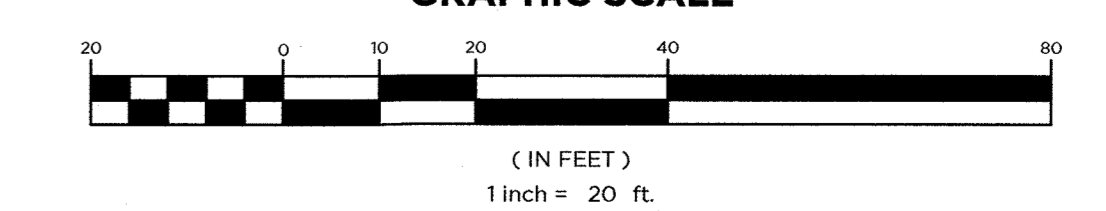
**LANDSCAPE KEY**




**LANDSCAPE MAINTENANCE NOTES**

- PROPERTY OWNER WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPING.
- TREES AND SHRUBS. MAINTAIN FOR THE FOLLOWING MAINTENANCE PERIOD BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETTling TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. RESTORE OR REPLACE DAMAGED TREE WRAPPINGS.
- GROUND COVER AND PLANTS. MAINTAIN FOR THE FOLLOWING MAINTENANCE PERIOD BY WATERING, WEEDING, FERTILIZING, AND OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS.
- THOSE PERFORMING SUCH WORK BE PROFESSIONALS CERTIFIED IN SUCH WORK. (ISA CERTIFIED, CERTIFIED TREE EXPERT CERTIFICATION AND/OR SHOW PROOF OF NOT LESS THAN 5 YEARS EXPERIENCE IN SUCH HORTICULTURAL WORK HAS BEEN OBTAINED).
- MAINTENANCE PERIOD: 24 MONTHS FROM DATE OF SUBSTANTIAL COMPLETION AS DETERMINED BY THE BOROUGH'S LANDSCAPE ARCHITECT AND/OR BOROUGH OFFICIAL HAVING JURISDICTION.
- NORMAL MAINTENANCE AND CARE OF ALL PLANT MATERIAL, (WATERING, ETC.) SHALL TAKE PLACE PRIOR TO THE DETERMINATION OF SUBSTANTIAL COMPLETION AS WELL IN ORDER TO PLANTED MATERIAL HEALTHY.

**GRAPHIC SCALE**



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66 GLEN AVENUE  
 GLEN ROCK, NJ 07452  
 P: 201.670.6688  
 F: 201.670.9788  
 www.bertinengineering.com

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**CALISTO J. BERTIN, P.E.**  
 PROFESSIONAL ENGINEER  
 CT LIC. NO. 12950 NJ LIC. NO. 28945  
 MA LIC. NO. 40595 NY LIC. NO. 60022  
 NH LIC. NO. 9368 RI LIC. NO. 6694

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**SHAN-PEI FANCHIANG, P.E.**  
 PROFESSIONAL ENGINEER  
 NJ LIC. NO. 37073  
 NY LIC. NO. 071209

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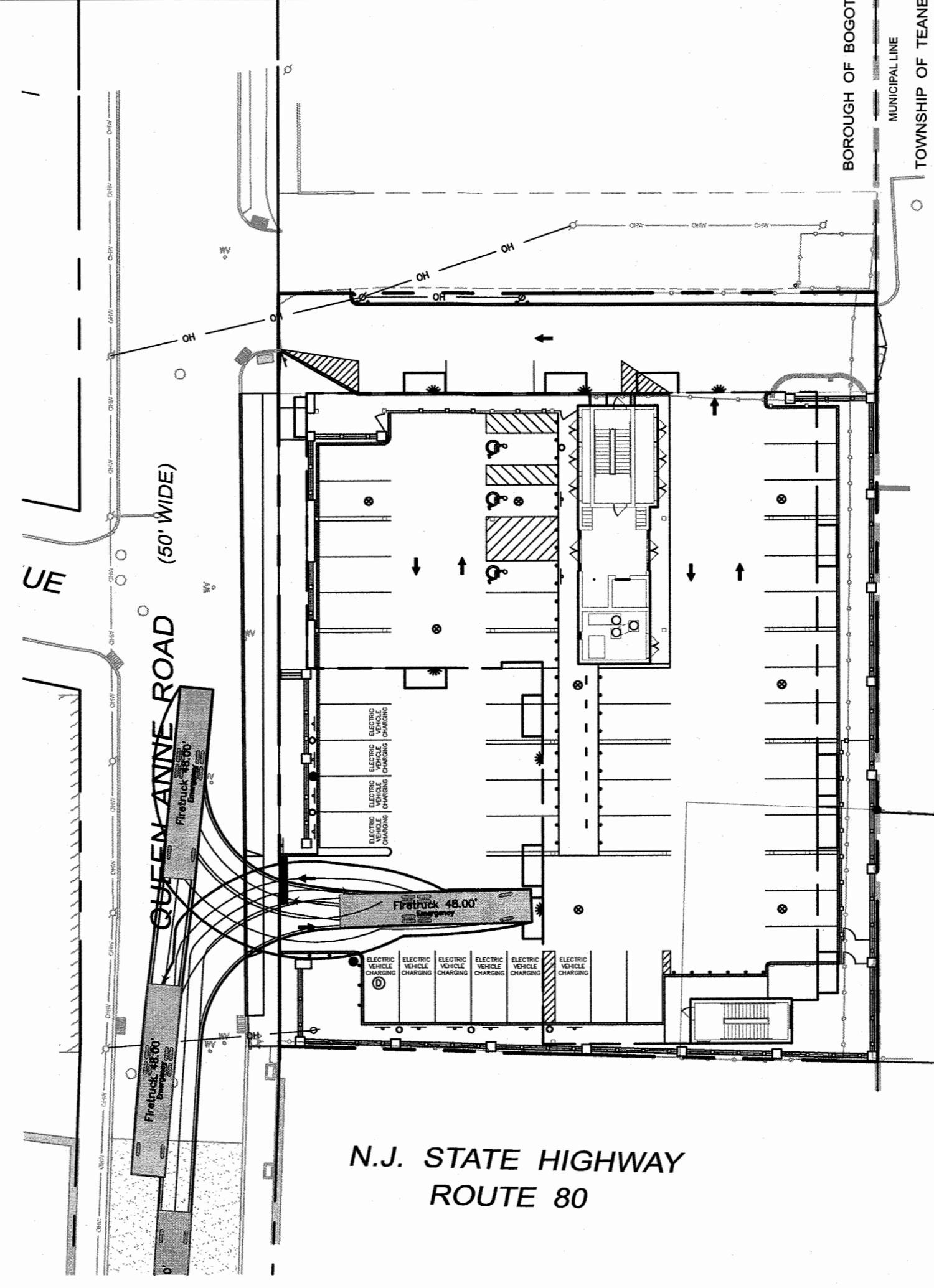
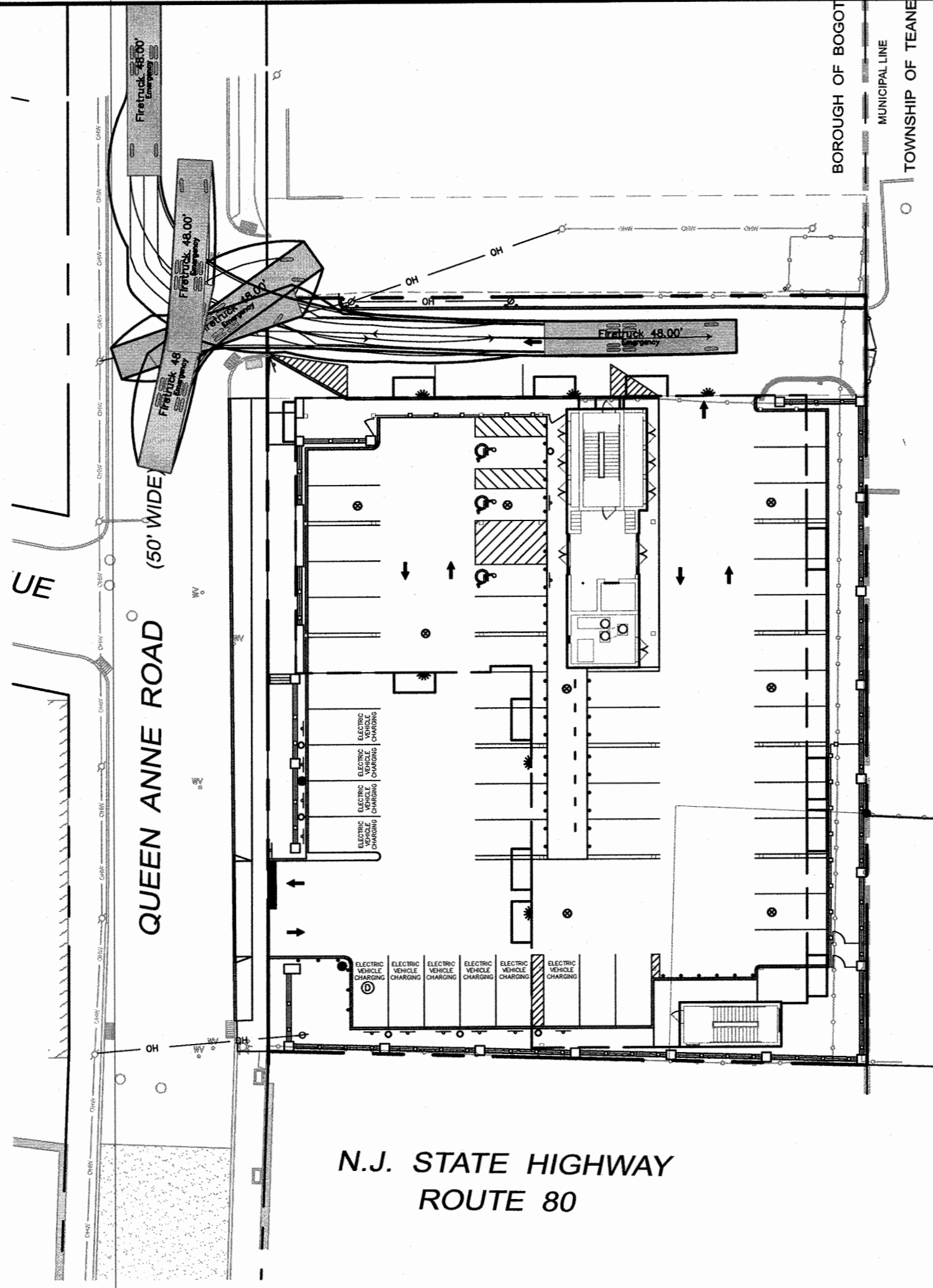
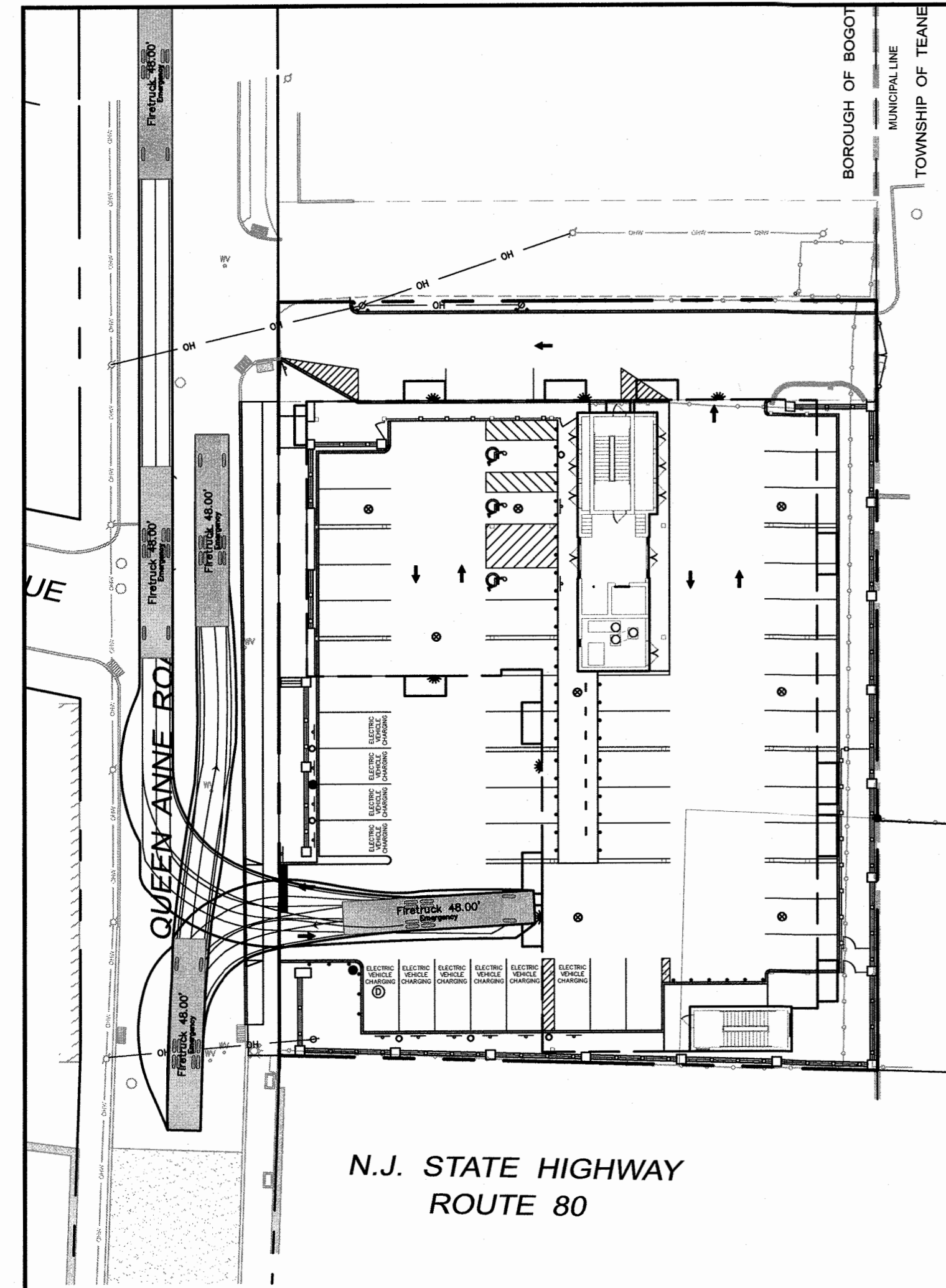
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**LIGHTING & LANDSCAPE PLAN**

**PROJECT**  
**MULTI-FAMILY APT. BUILDING**  
 BLOCK 95, LOTS 1.01 & 1.02  
 51 QUEEN ANNE ROAD  
 BOROUGH OF BOGOTA  
 BERGEN COUNTY, NEW JERSEY

**CLIENT**  
**51 QUEEN ANNE ROAD REALTY LLC**  
 3 HUBBARDTOWN ROAD  
 WAYNE, NJ 07470

**DRAWN BY:** J.A.  
**CHECKED BY:** J.A.  
**SCALE:** 1"=20'  
**PROJECT NO.:** 21-252  
**DATE:** 12-14-21  
**REVISION NO.:** 4  
**DRAWING NO.:**

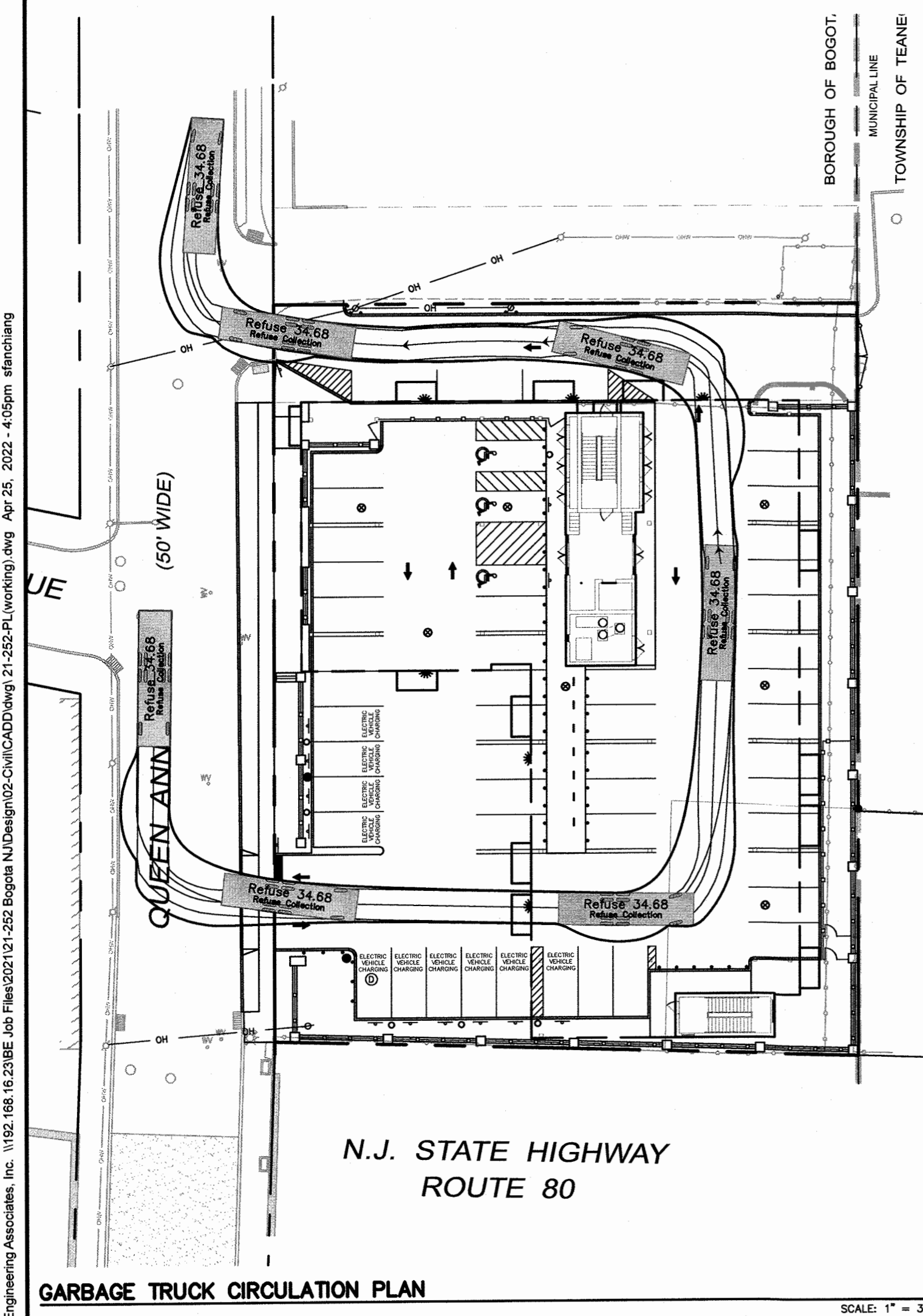
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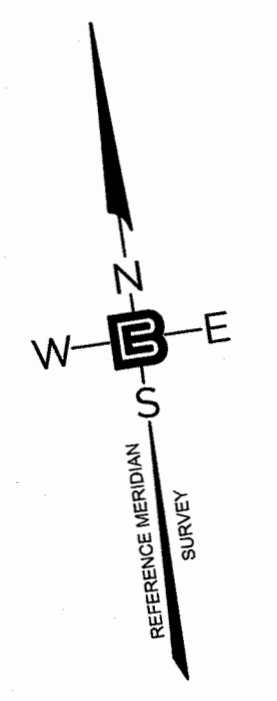
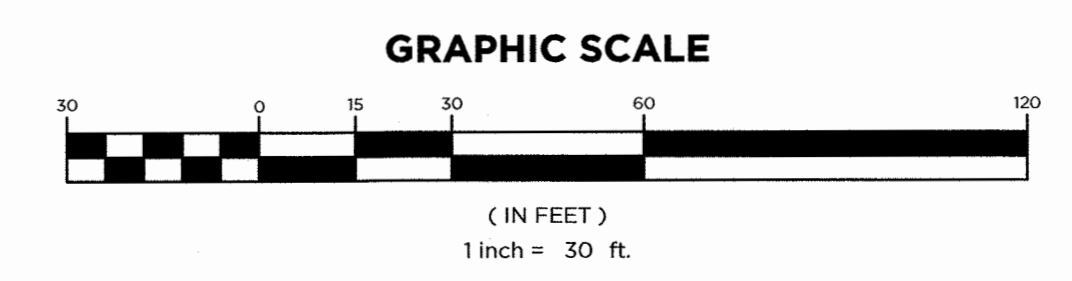
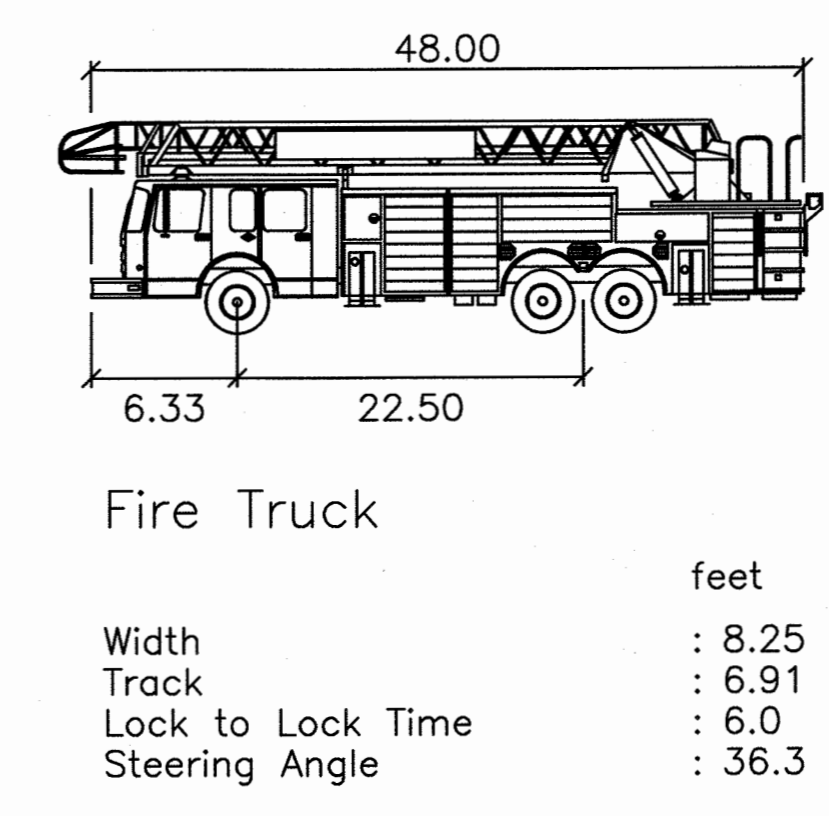
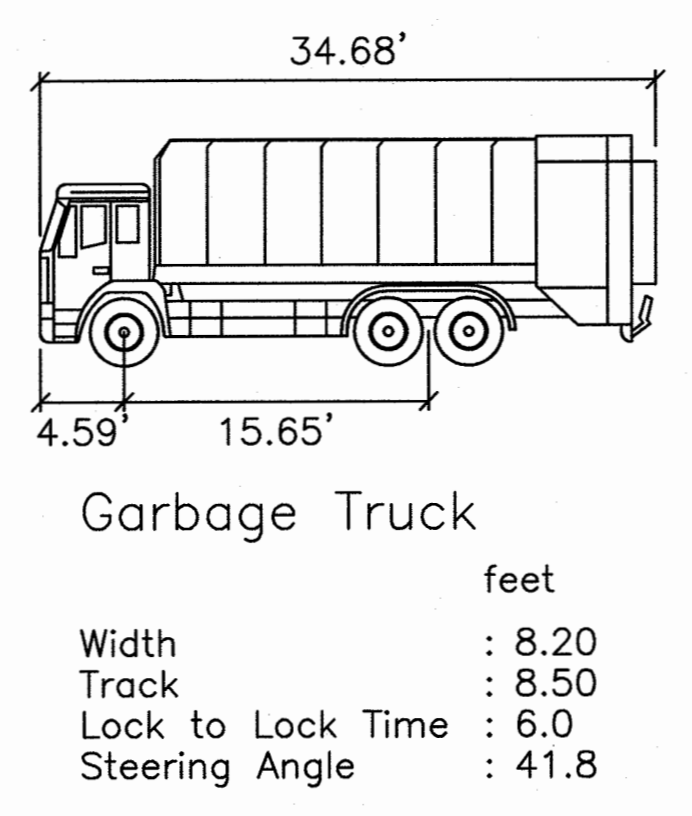
FIRE TRUCK CIRCULATION PLAN - 1  
SCALE: 1" = 30'

FIRE TRUCK CIRCULATION PLAN - 2  
SCALE: 1" = 30'

FIRE TRUCK CIRCULATION PLAN - 3  
SCALE: 1" = 30'



GARBAGE TRUCK CIRCULATION PLAN  
SCALE: 1" = 30'



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TEL: 201.670.9788  
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PROFESSIONAL ENGINEER  
CT LIC. NO. 12950 NJ LIC. NO. 28845  
MA LIC. NO. 40595 NY LIC. NO. 60022  
NH LIC. NO. 9368 RI LIC. NO. 6694

SHAN-PEI FANCHIANG, P.E.  
PROFESSIONAL ENGINEER  
NJ LIC. NO. 37073  
NY LIC. NO. 071209

NO.	DATE	REVISION
3	8-1-22	REVISE TRUCKPATHS PER NEW SITE LAYOUT
2	4-25-22	REVISE PER BOROUGH ENGINEER
1	4-14-22	REVISE AS PER SITE PLAN

DRAWING TITLE  
**VEHICLE CIRCULATION PATHS**

PROJECT  
**MULTI-FAMILY APT. BUILDING**  
BLOCK 95, LOTS 1.01 & 1.02  
51 QUEEN ANNE ROAD  
BOROUGH OF BOGOTA  
BERGEN COUNTY, NEW JERSEY

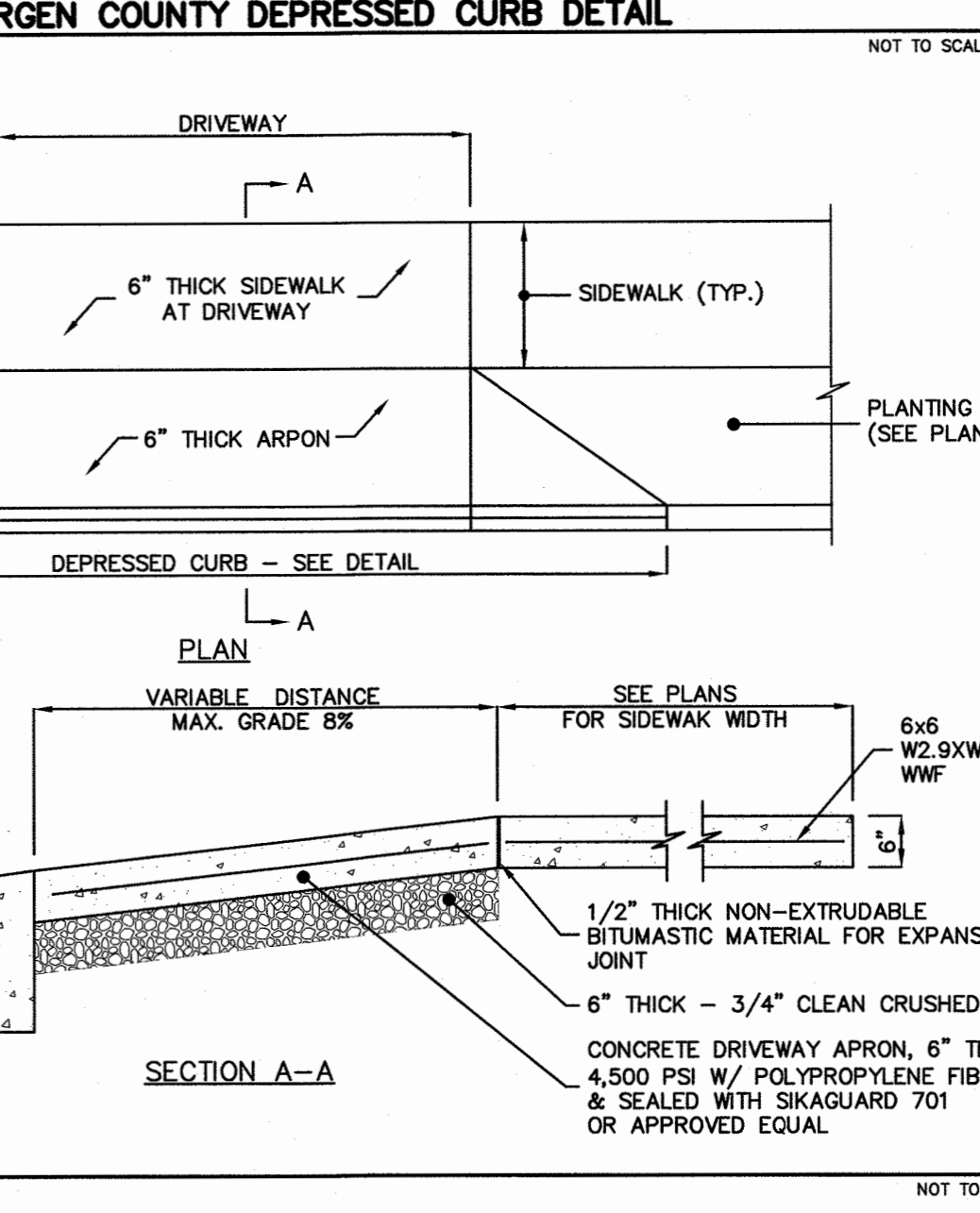
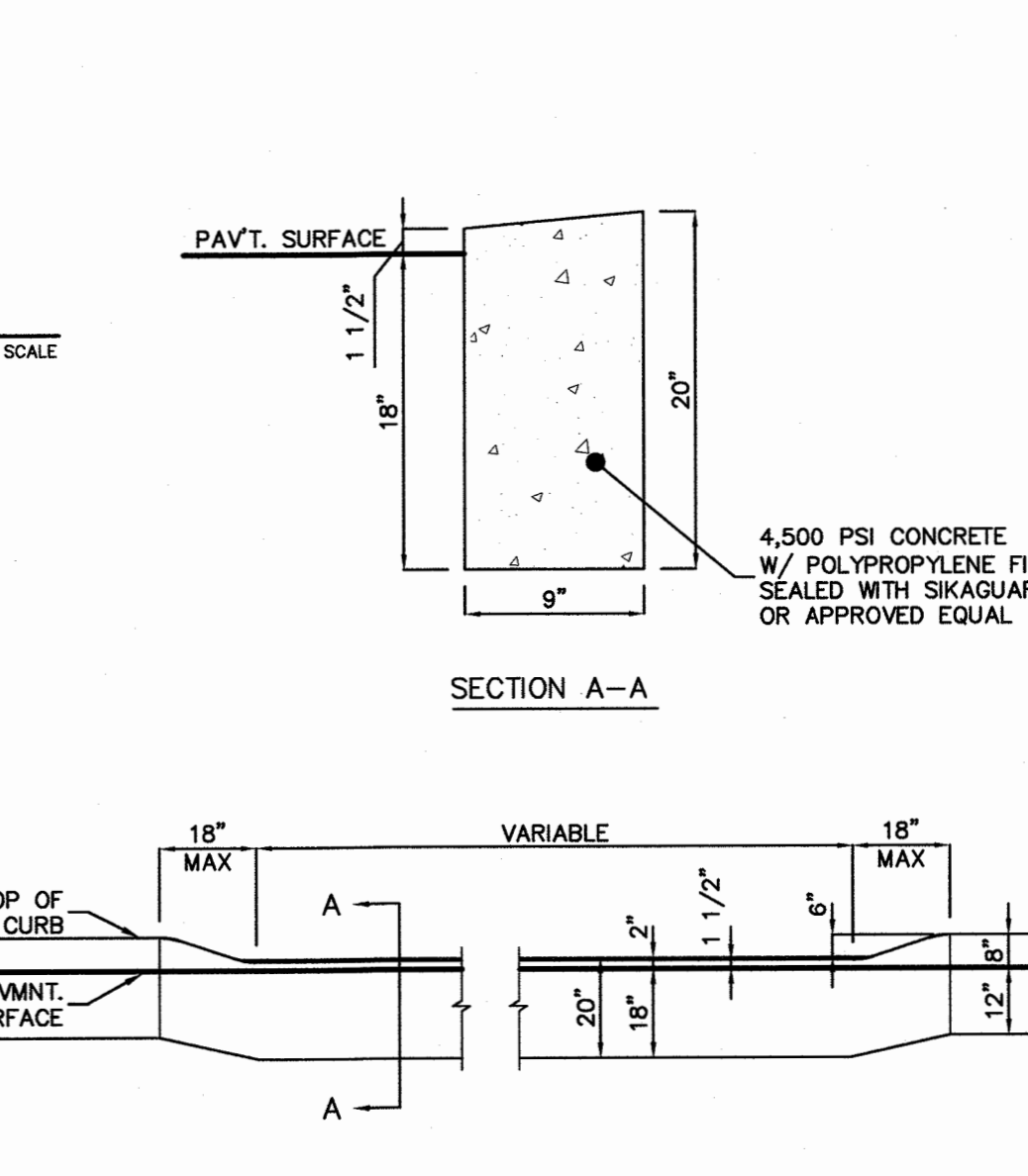
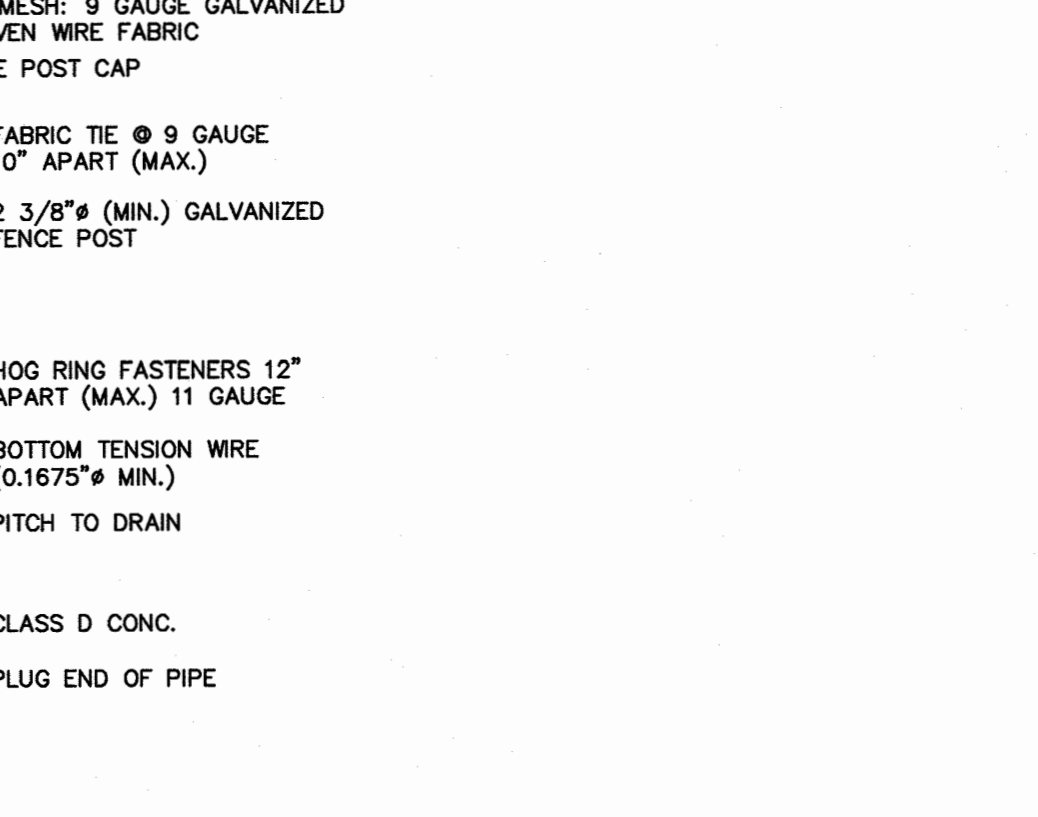
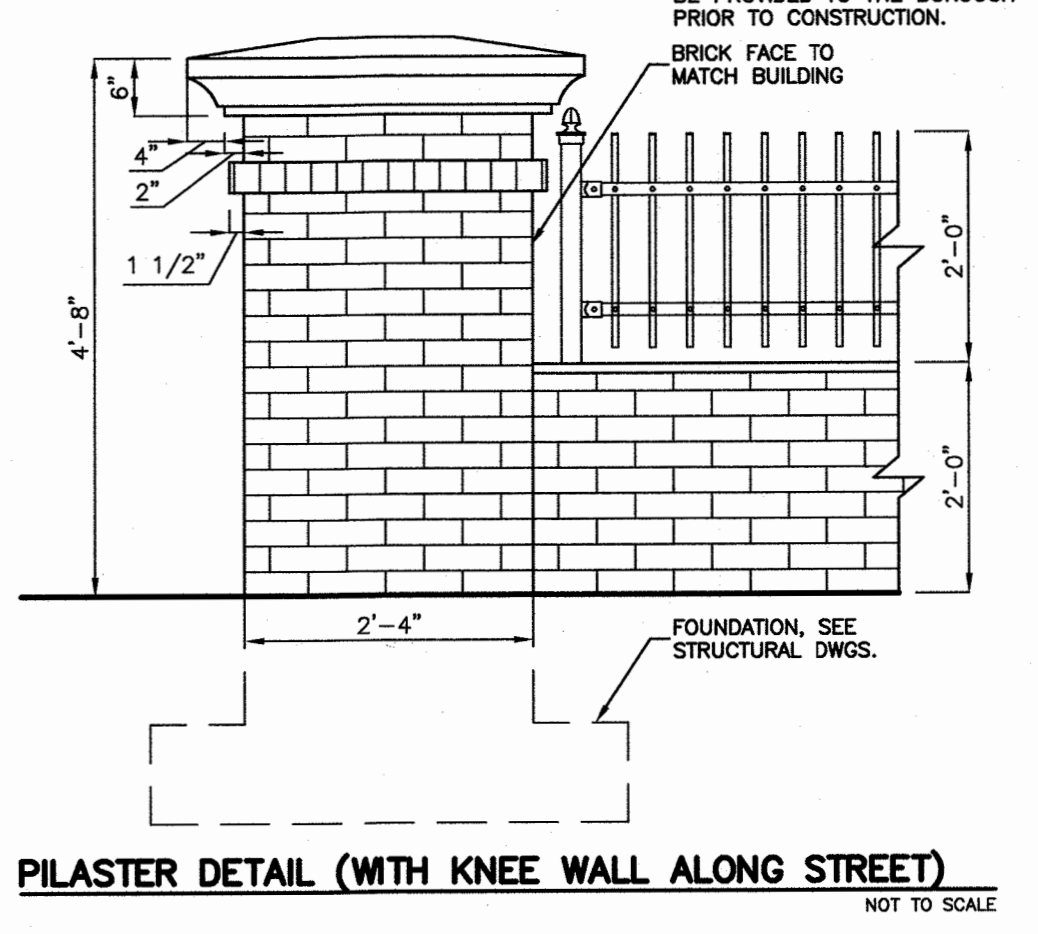
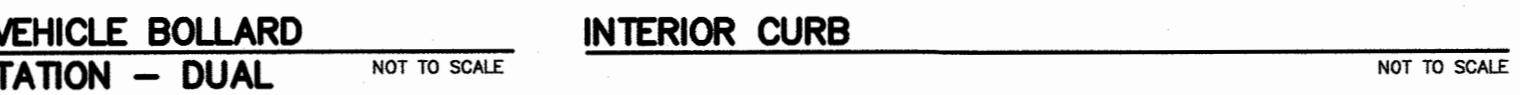
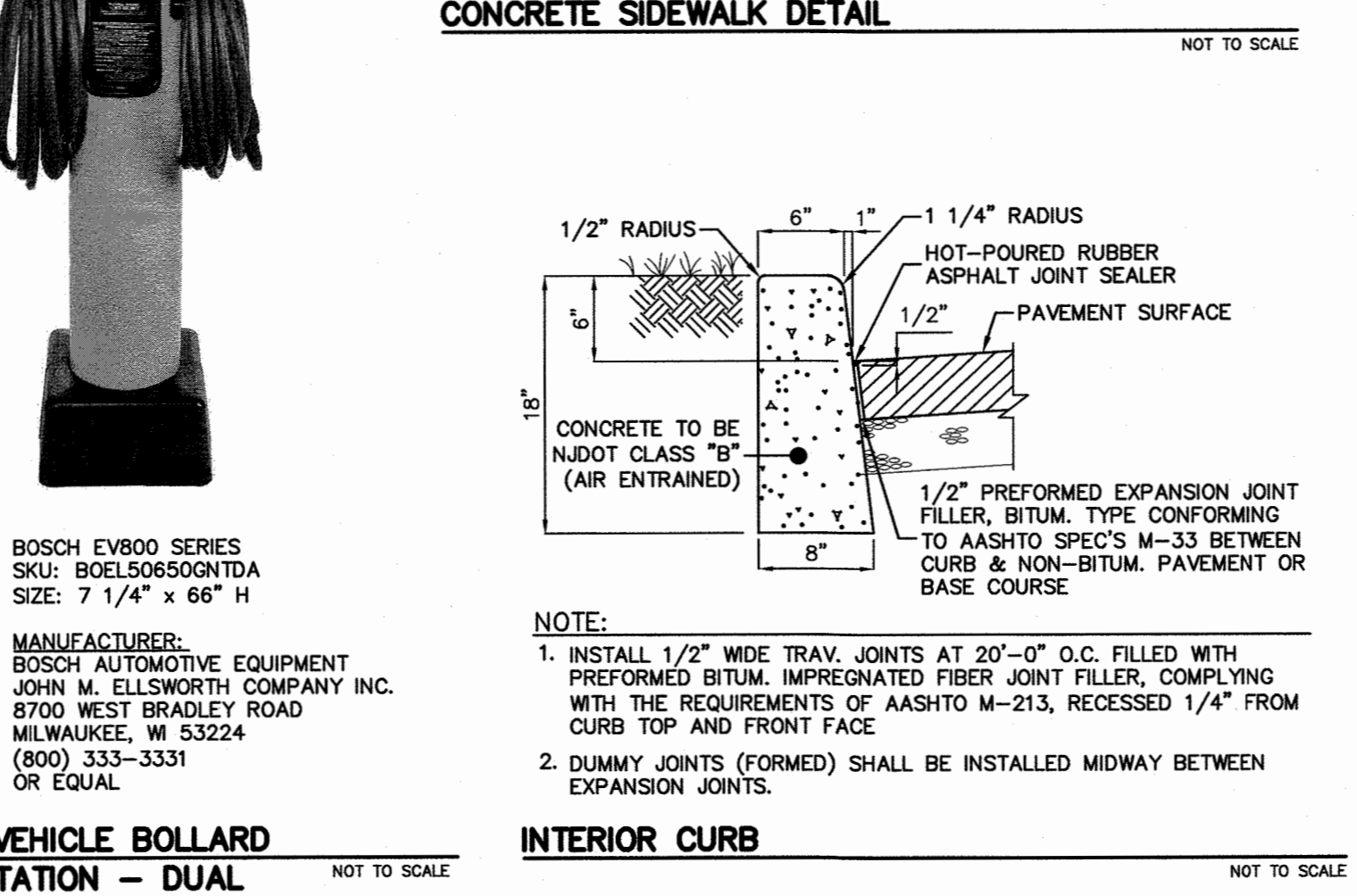
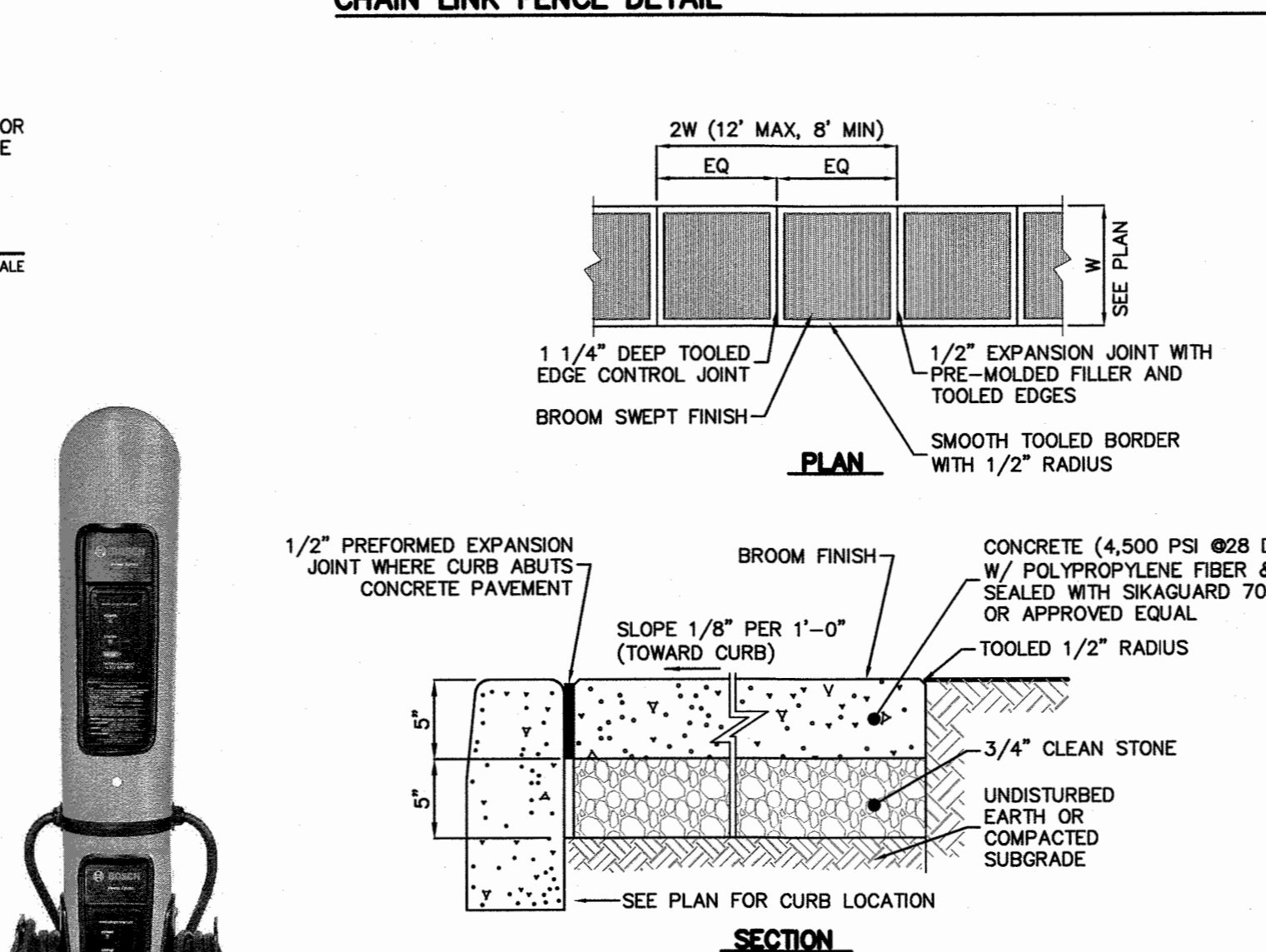
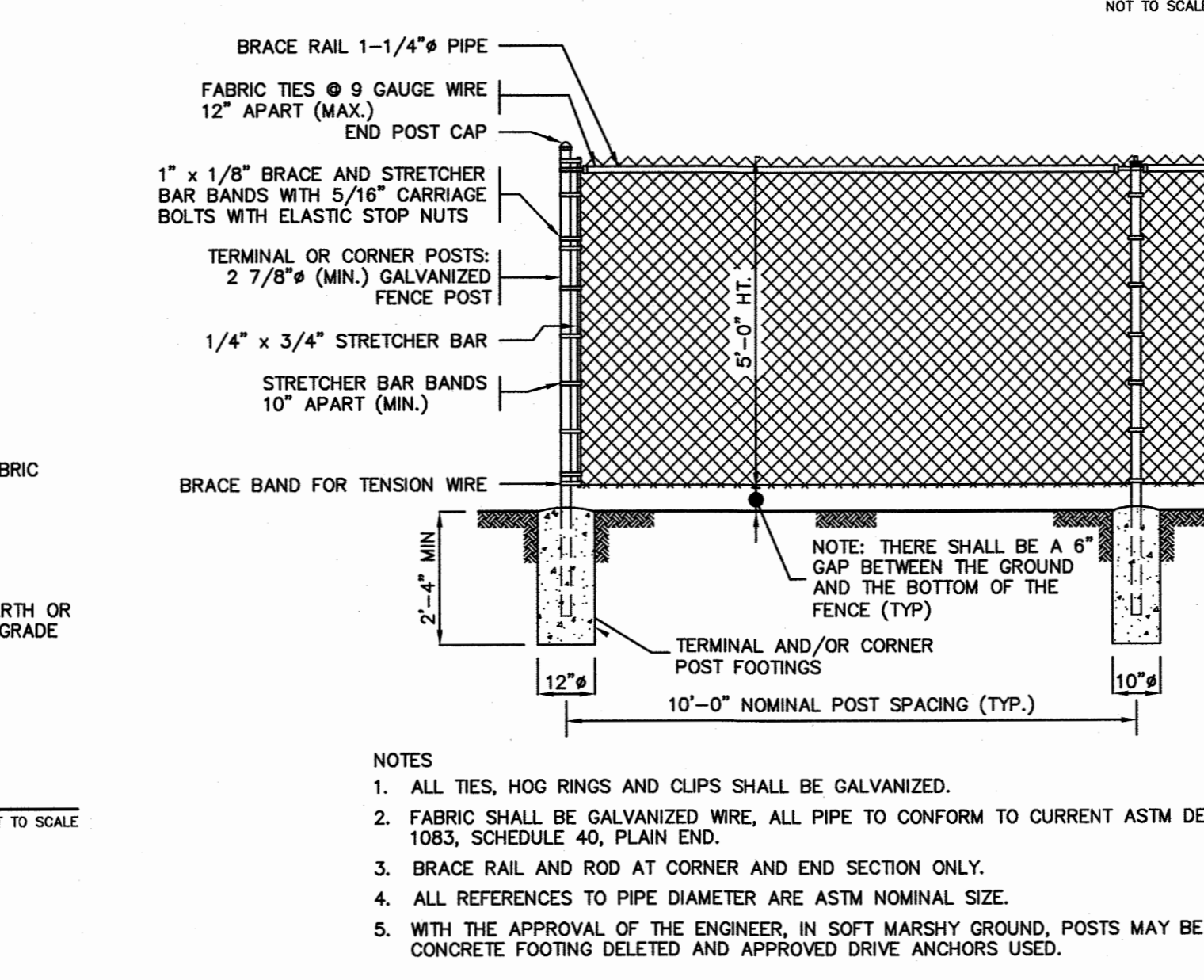
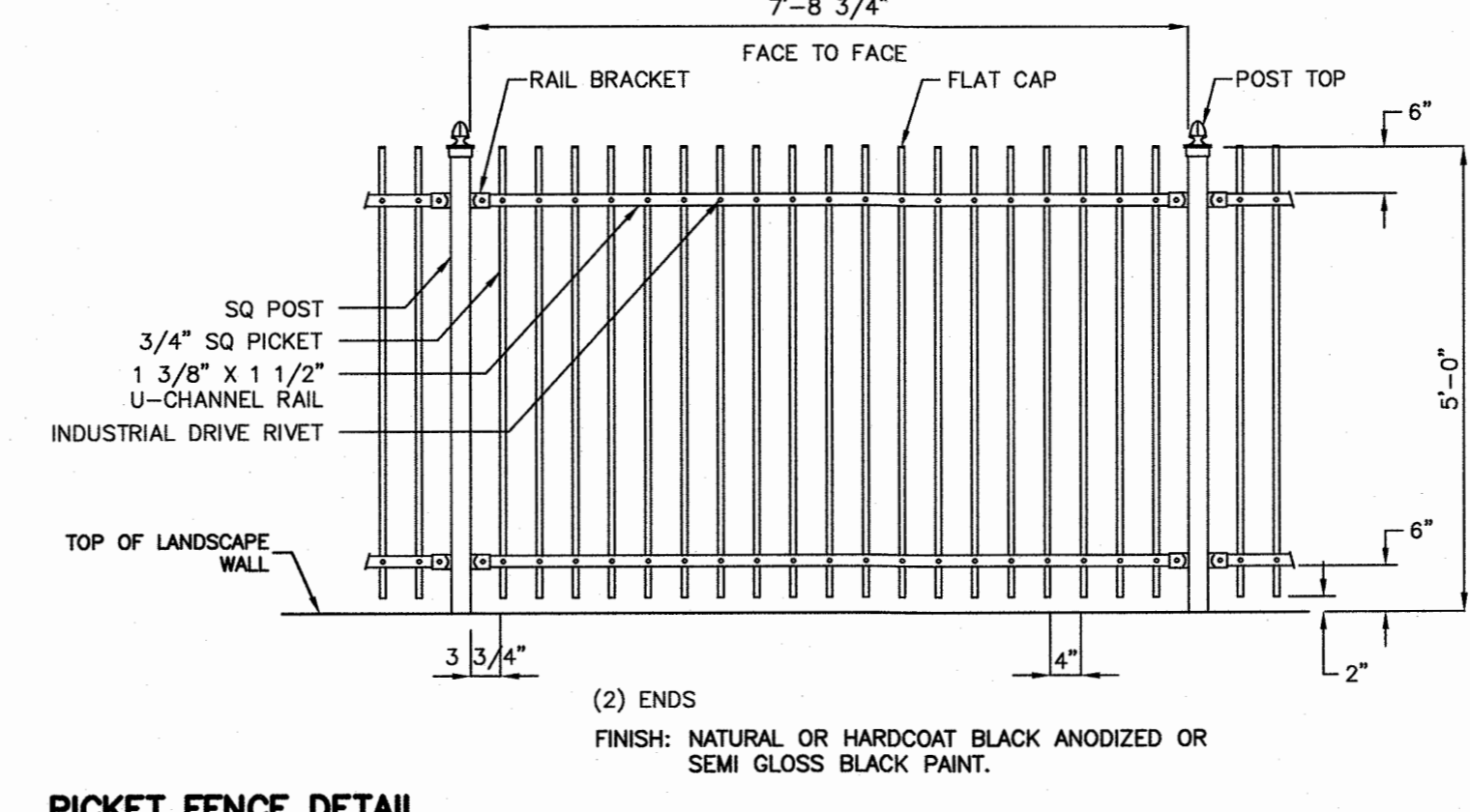
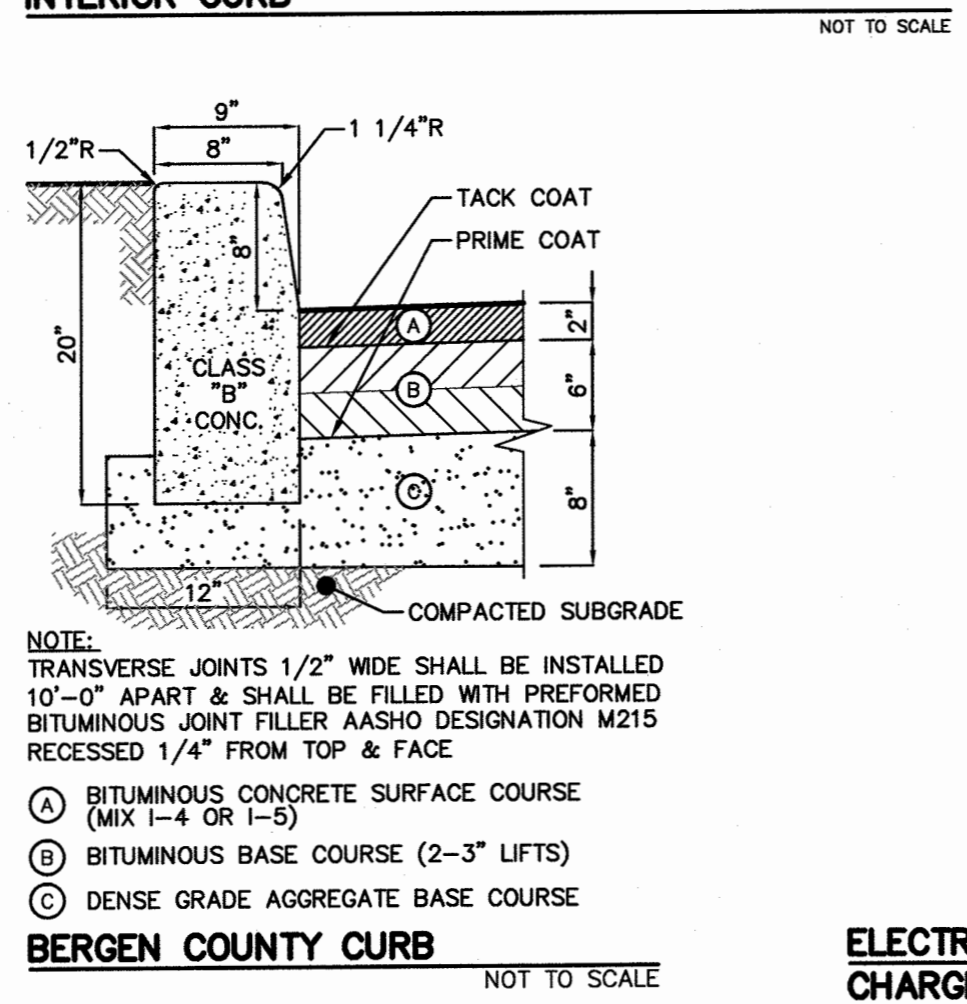
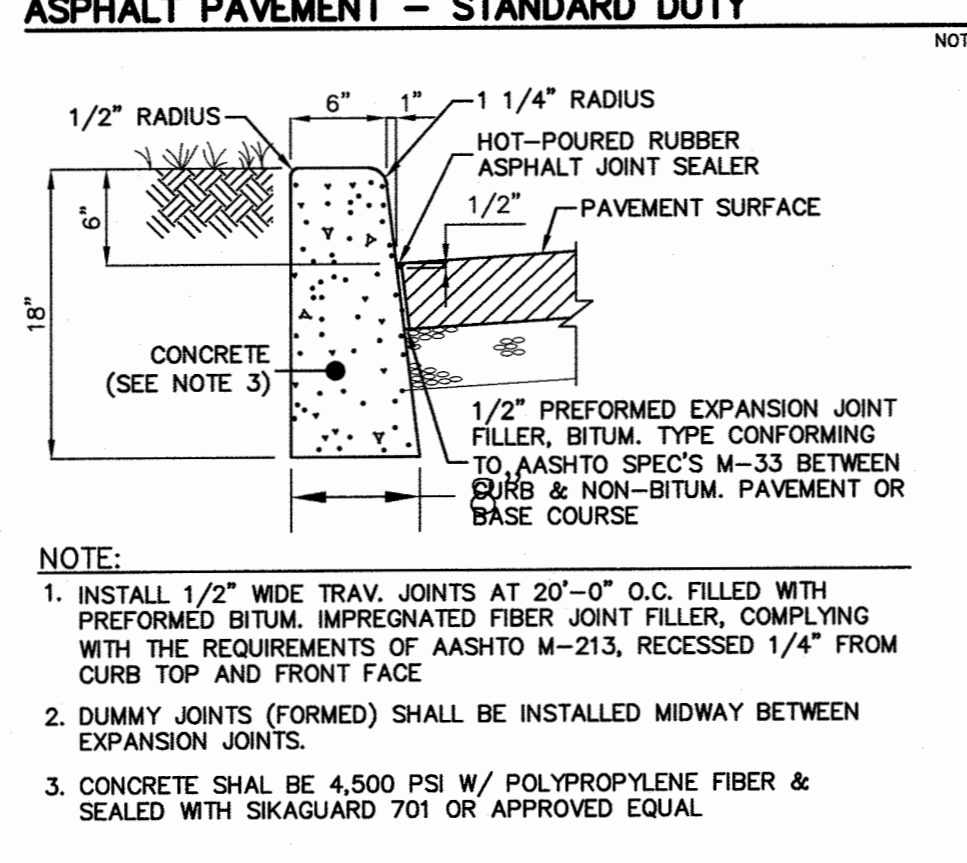
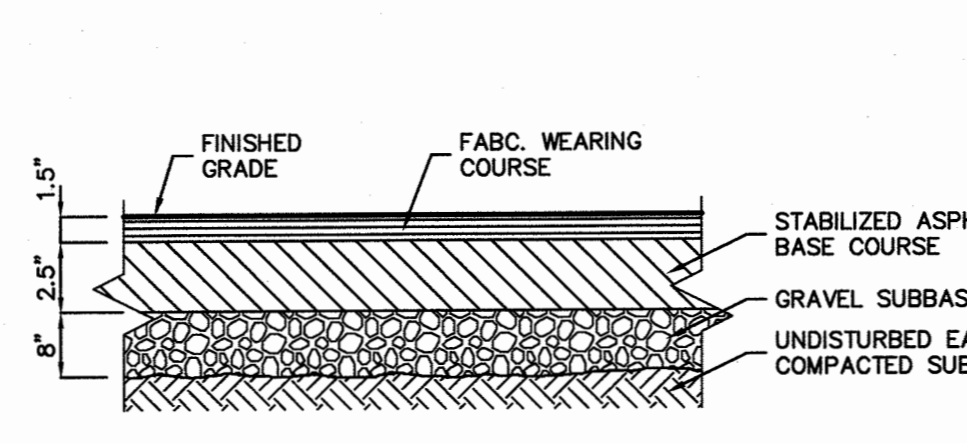
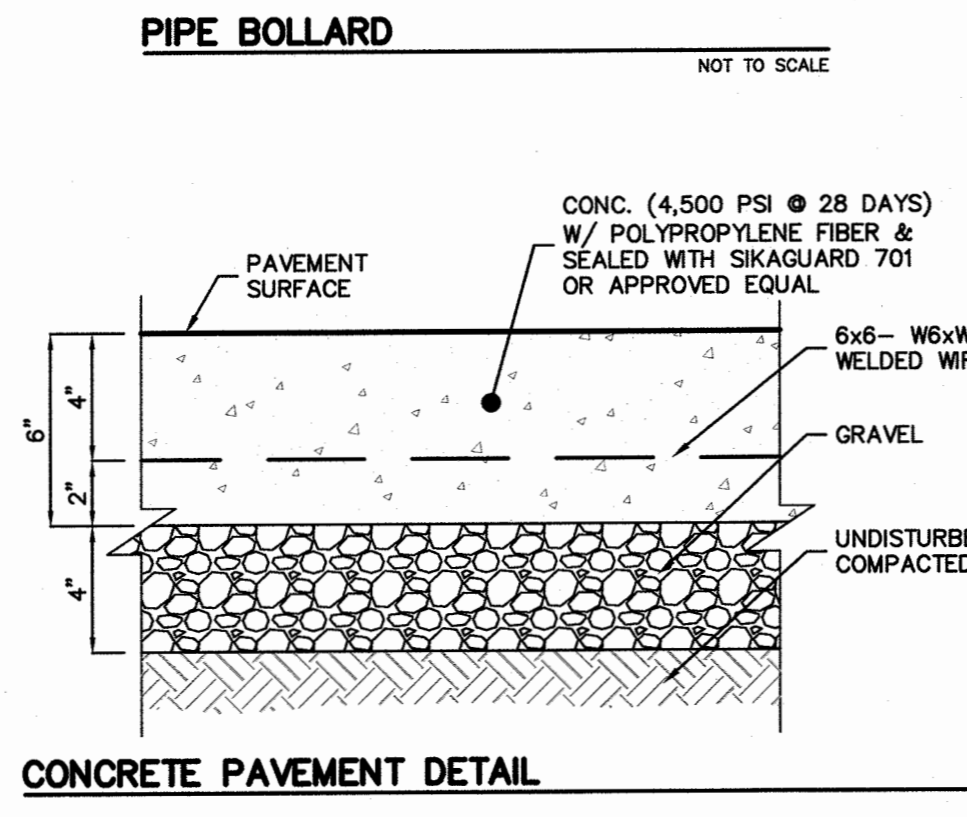
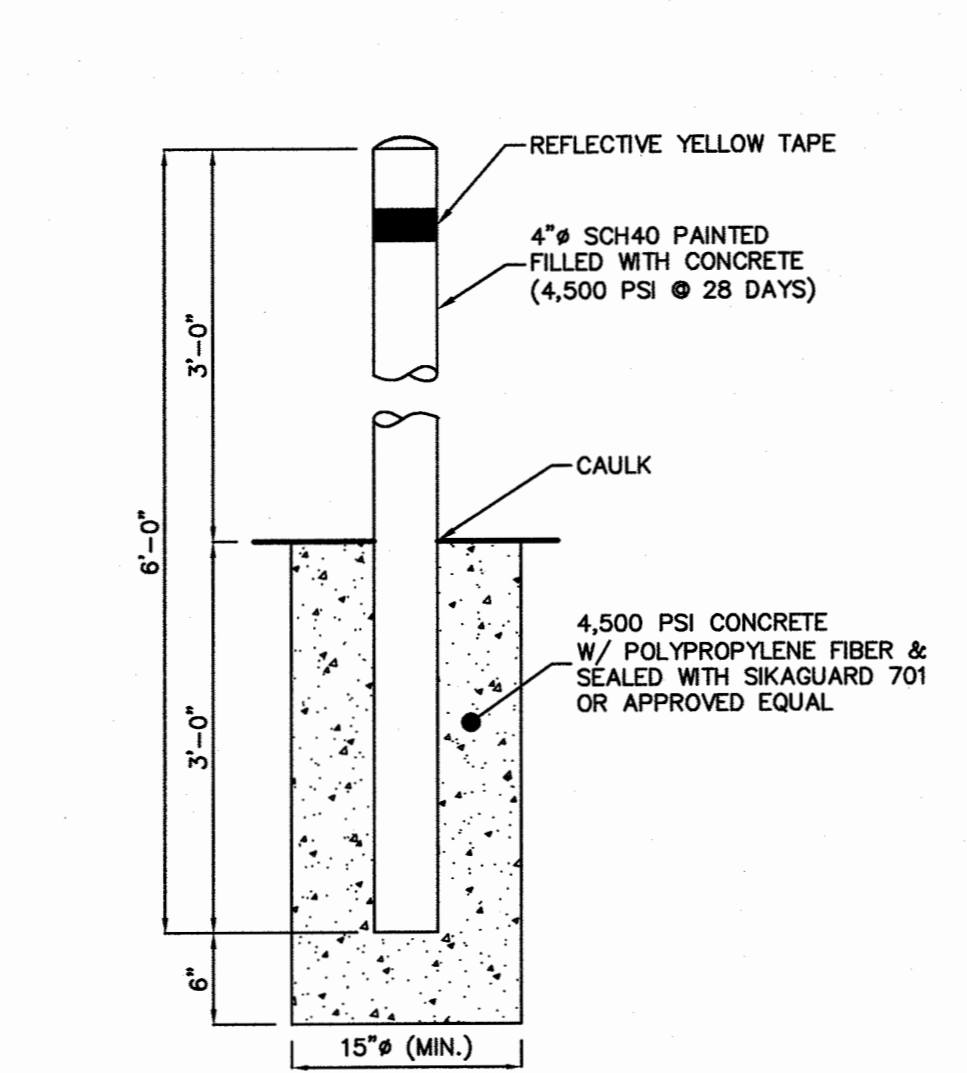
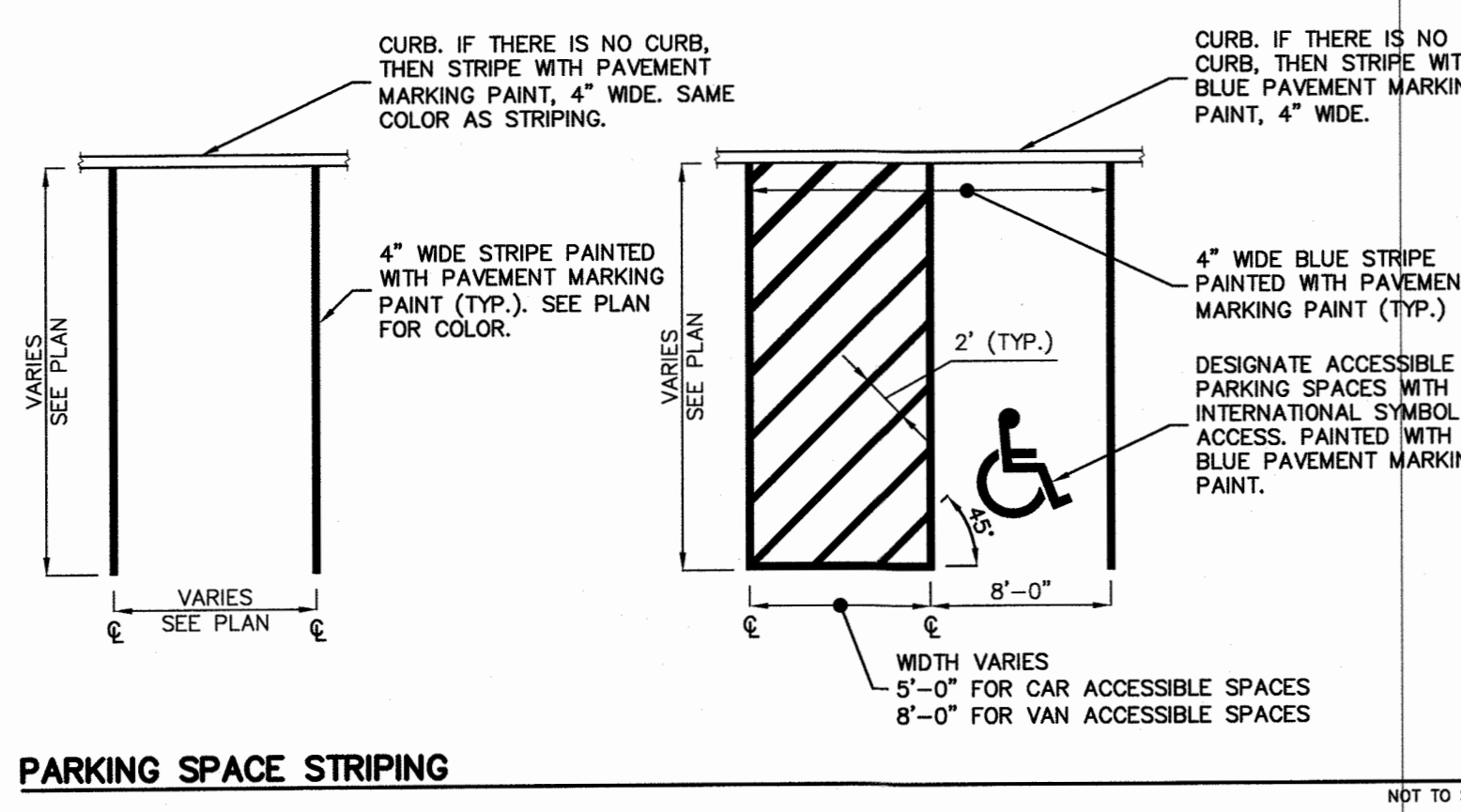
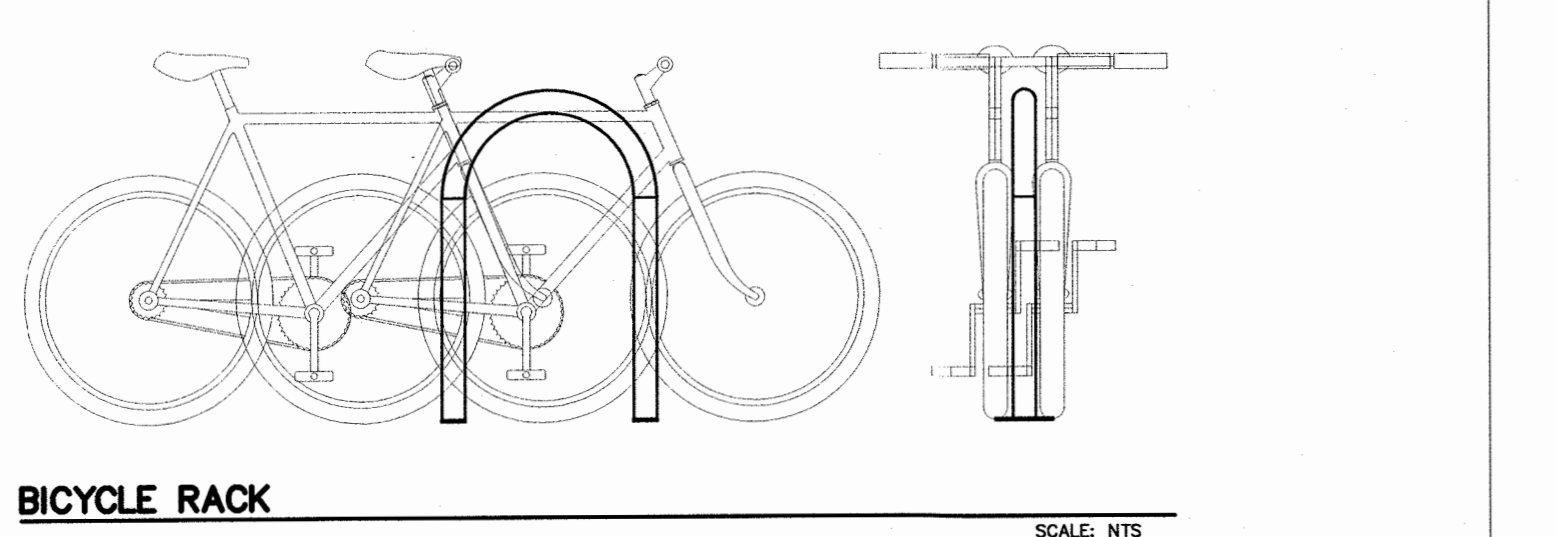
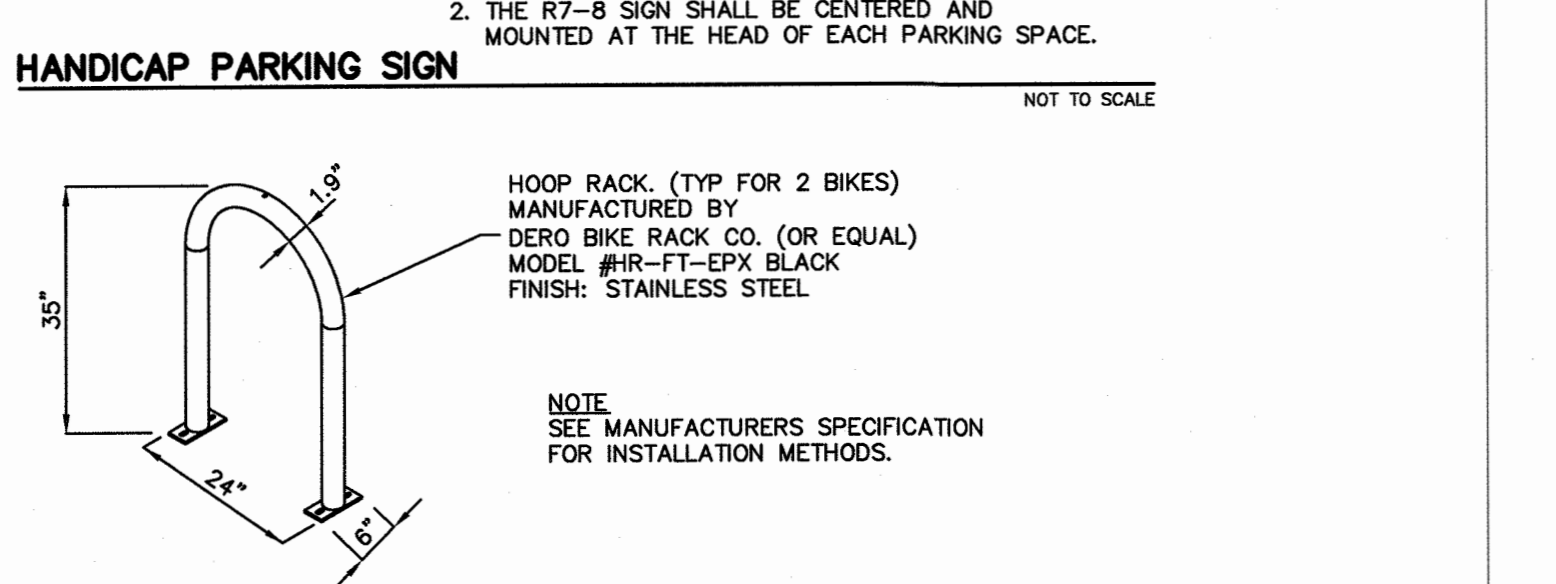
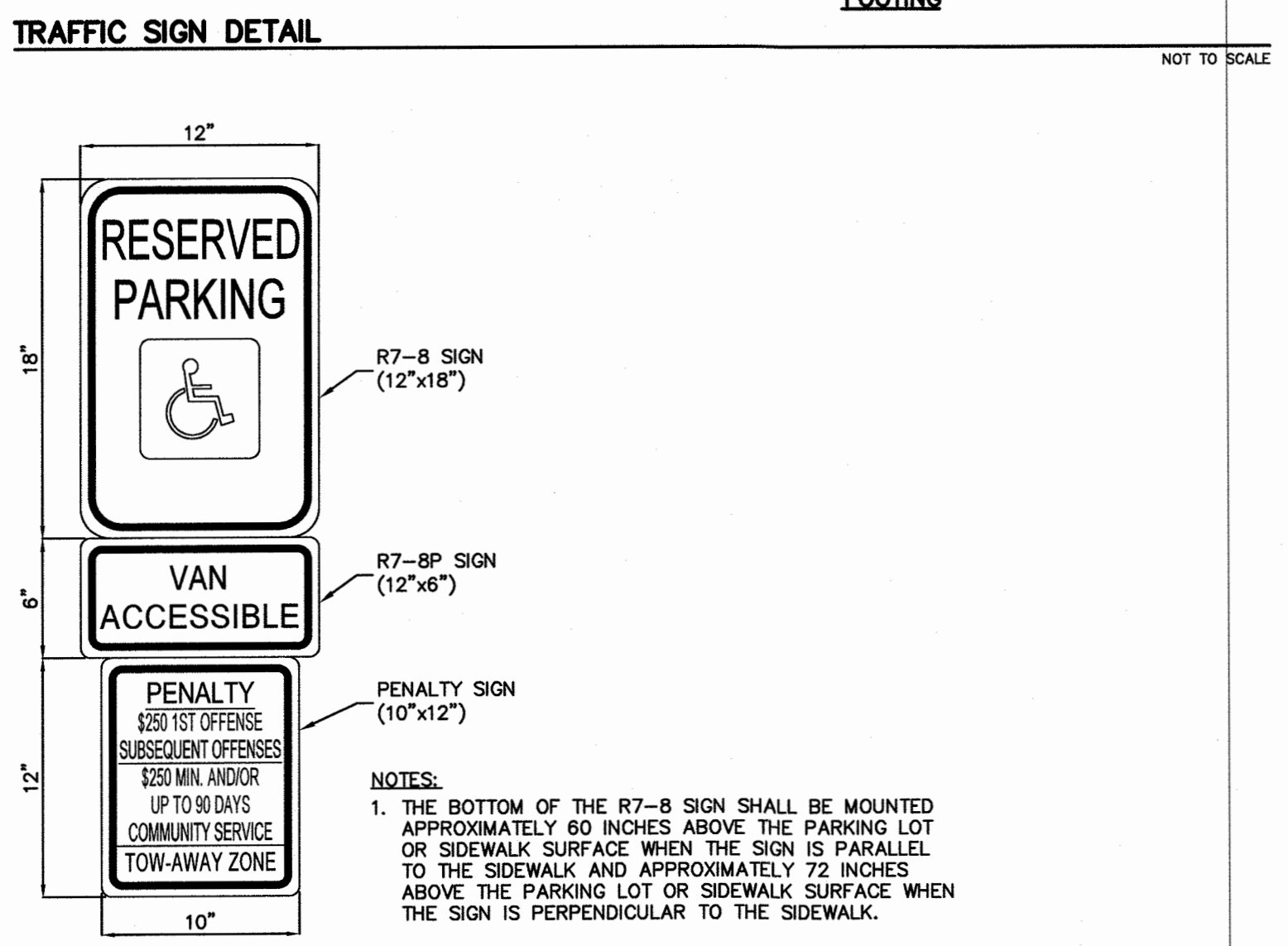
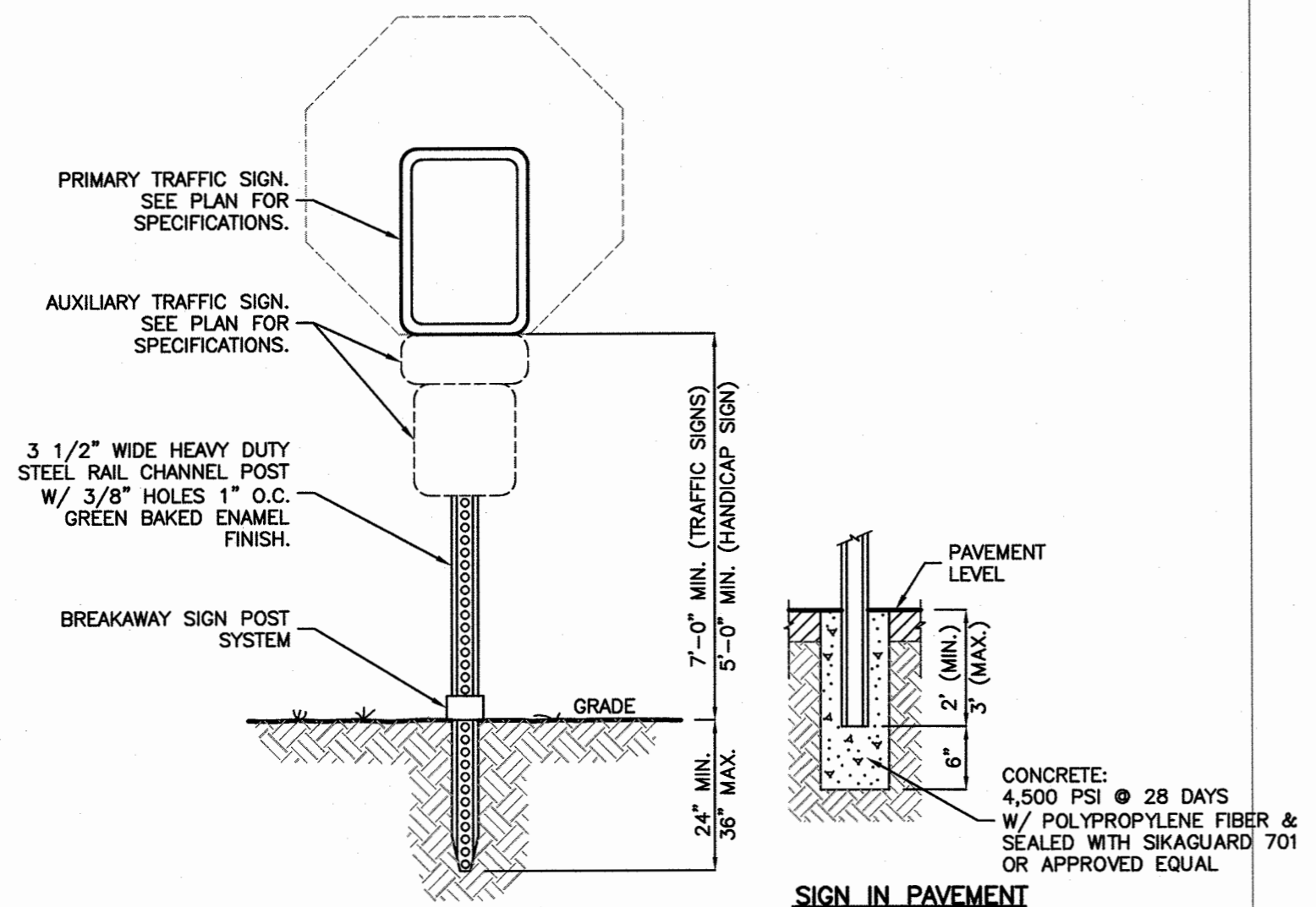
CLIENT  
51 QUEEN ANNE ROAD REALTY LLC  
3 HUBBARDTON ROAD  
WAYNE, NJ 07470

CERTIFICATE OF AUTHORIZATION  
24GA28068900 / 21MH00002800

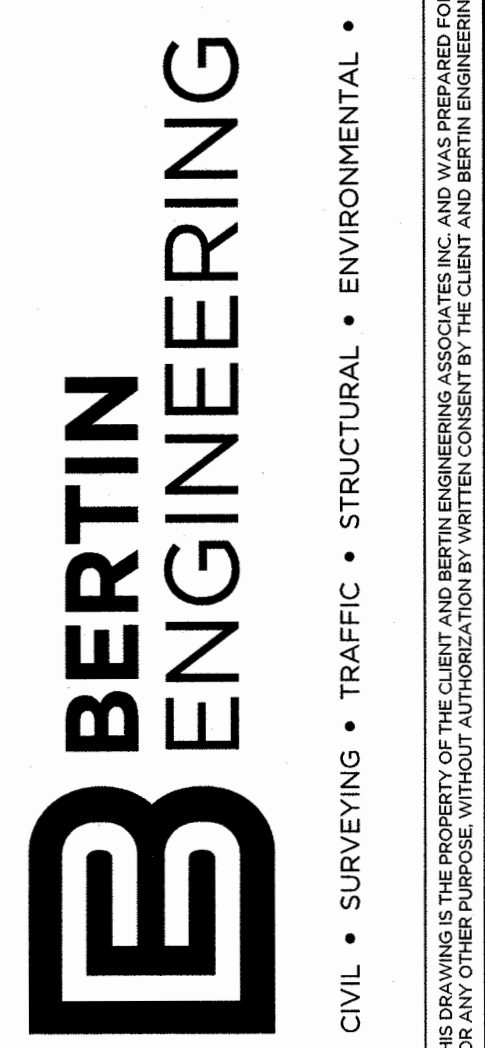
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SCALE: 1"=30' PROJECT NO.: 23-252  
DATE: 3-10-22 REVISION NO.: 3

DRAWING NO.  
**C2.5**

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66 GLEN AVENUE  
GLEN RIDGE NJ 07045  
TEL: 201.670.6788  
F: 201.670.9788  
www.bertinengineering.com



CALISTO J. BERTIN, P.E.  
PROFESSIONAL ENGINEER  
CT LIC. NO. 12950 NJ LIC. NO. 28845  
MA LIC. NO. 40595 NY LIC. NO. 60022  
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SHAN-PEI FANCHIANG, P.E.  
PROFESSIONAL ENGINEER  
NJ LIC. NO. 37073  
NY LIC. NO. 071209

NO.	DATE	REVISION	J.A.S.	M.B.L.
1	3-10-21	REVISE CONCRETE ON DETAILS, ADD FENCE & PILASTER DETAILS		
2	6-1-22	REVISE BICYCLE RACK DETAIL		

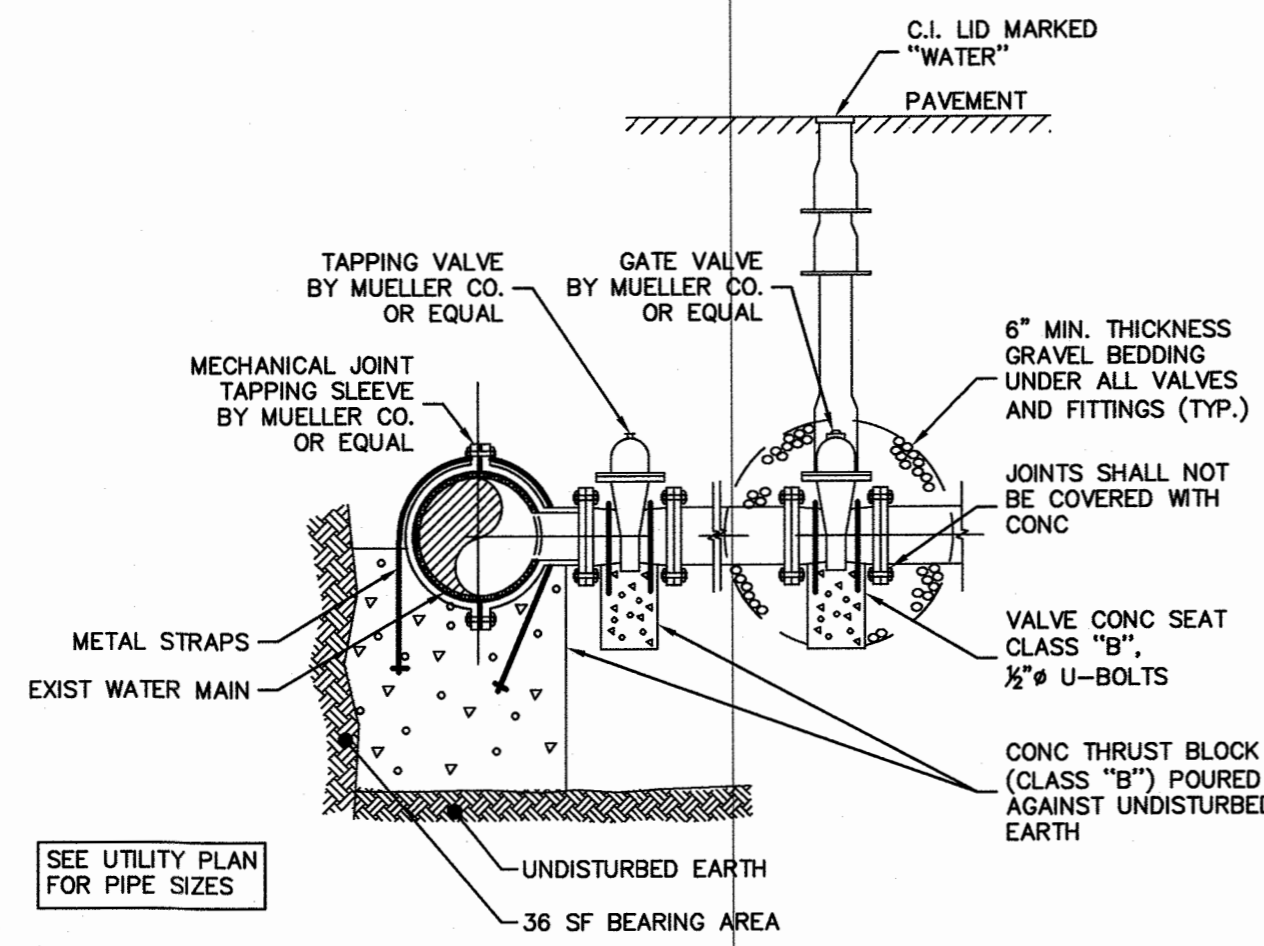
DRAWING TITLE  
**SITE DETAILS**

PROJECT  
**MULTI-FAMILY APT. BUILDING**  
BLOCK 95, LOTS 1.01 & 1.02  
51 QUEEN ANNE ROAD  
BOROUGH OF BOGOTA  
BERGEN COUNTY, NEW JERSEY

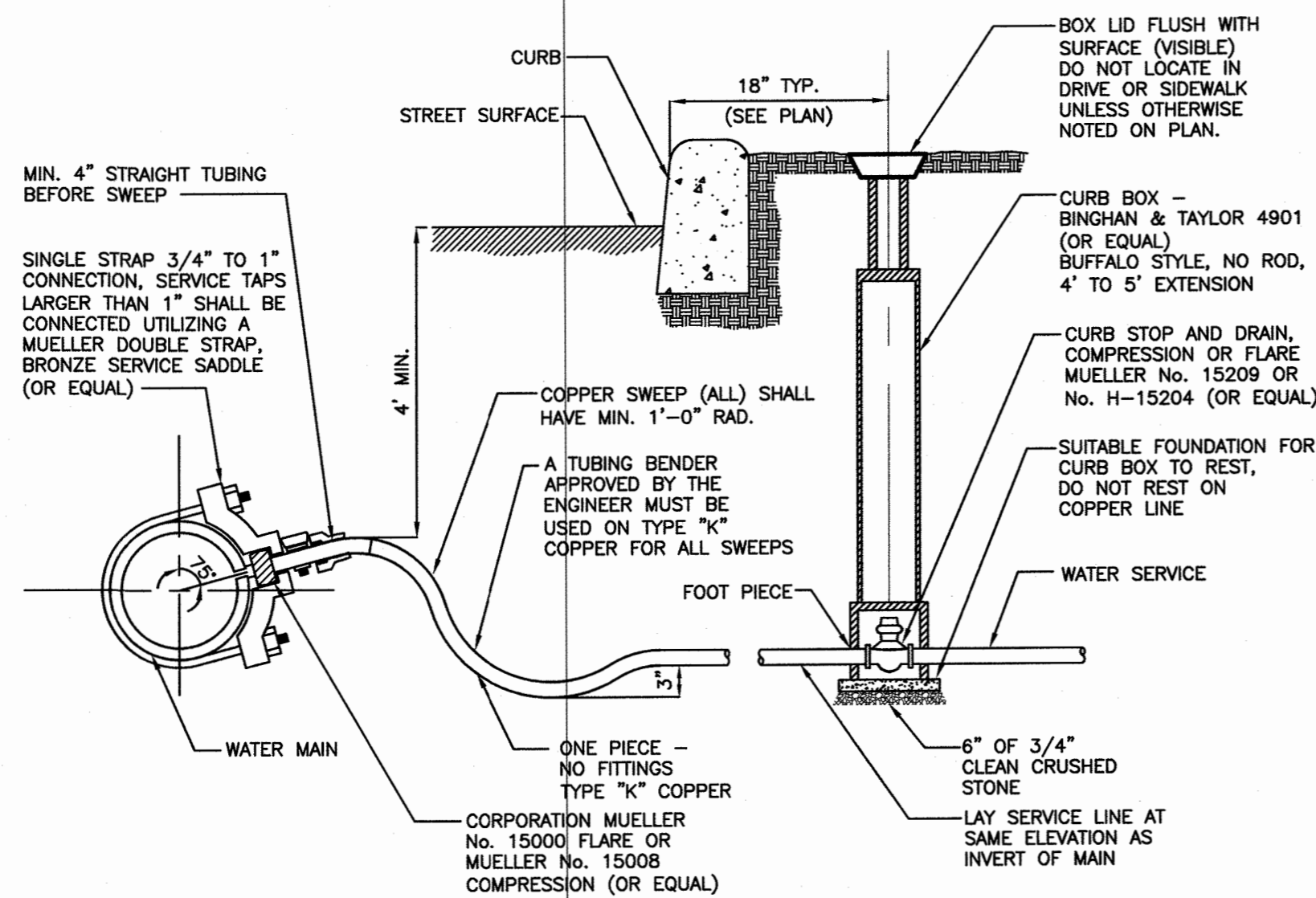
CLIENT  
**51 QUEEN ANNE ROAD REALTY LLC**  
3 HUBBARDTOWN ROAD  
WAYNE, NJ 07470

CERTIFICATE OF AUTHORIZATION  
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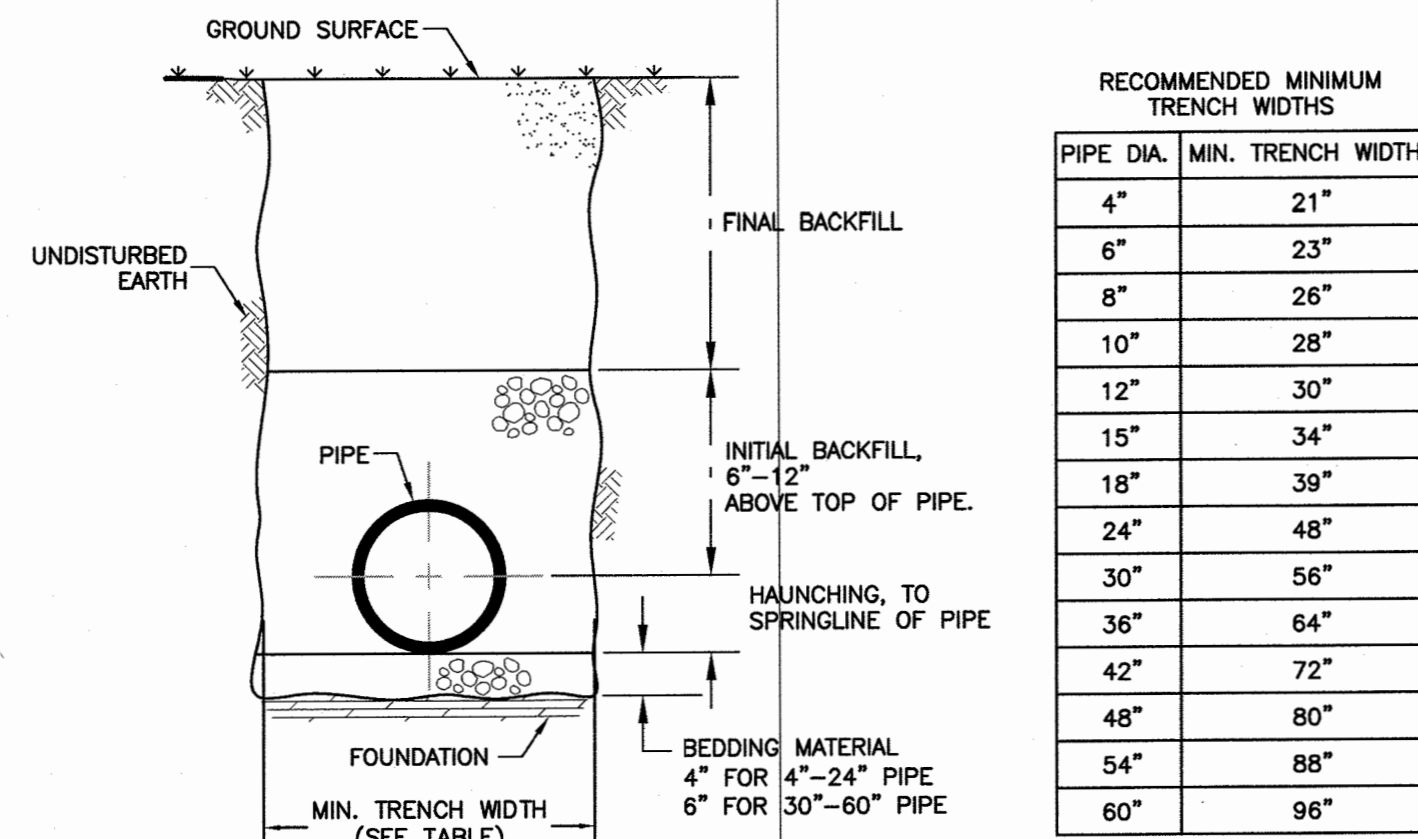
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SCALE: AS SHOWN PROJECT NO: 21-252  
DATE: 12-14-21 REVISION NO: 1  
DRAWING NO: **C3.1**



WATER MAIN TAPPING (OVER 4" NPS)



WATER SERVICE CONNECTION (3/4" TO 2" NPS)

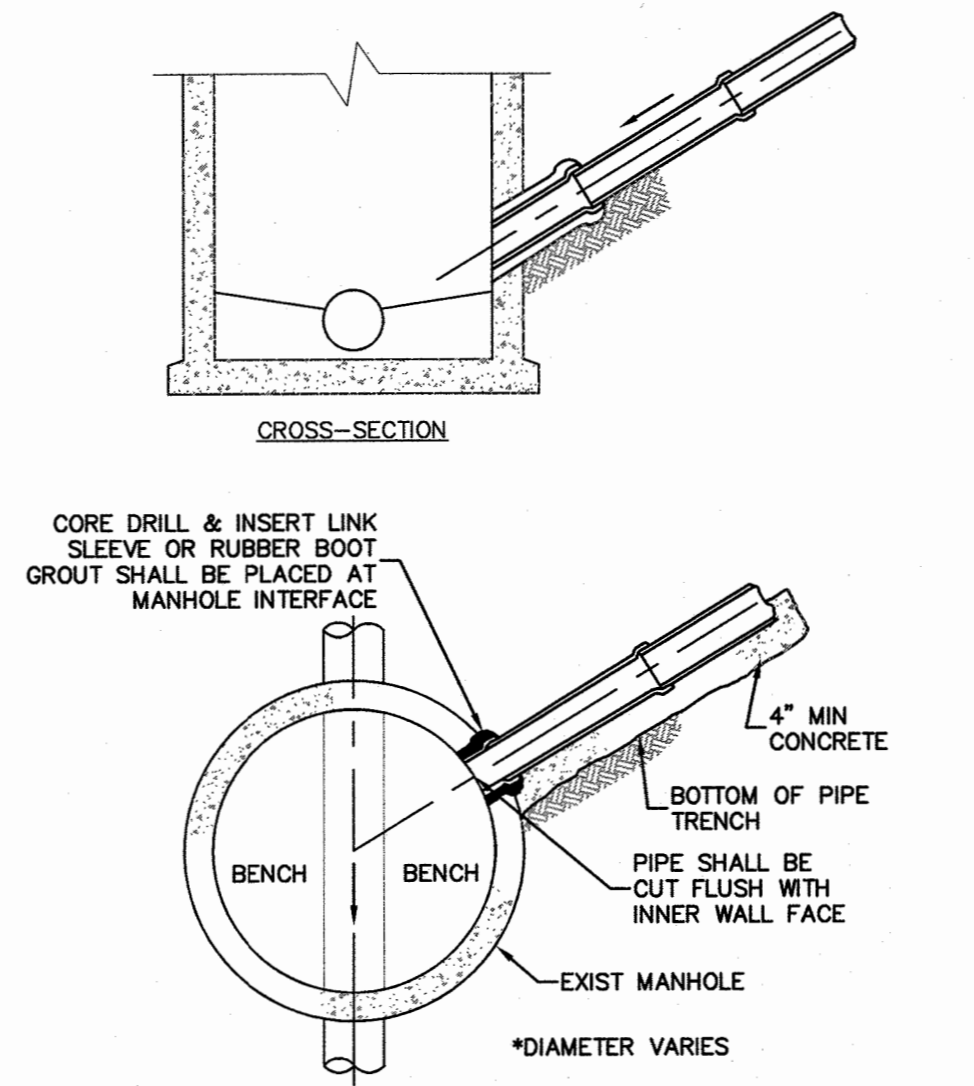


NOTES

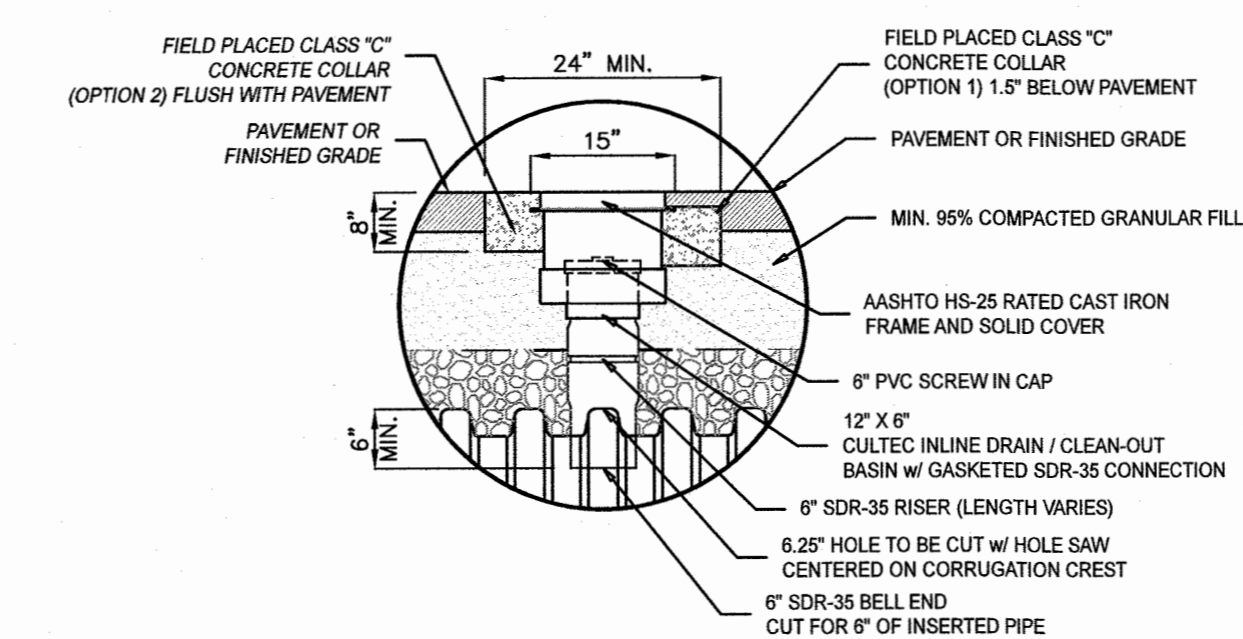
1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I OR II. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" FOR 4"-24" PIPE; 6" FOR 30"-60" PIPE.
5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I OR II IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

TYPICAL TRENCH CROSS-SECTION

NOT TO SCALE

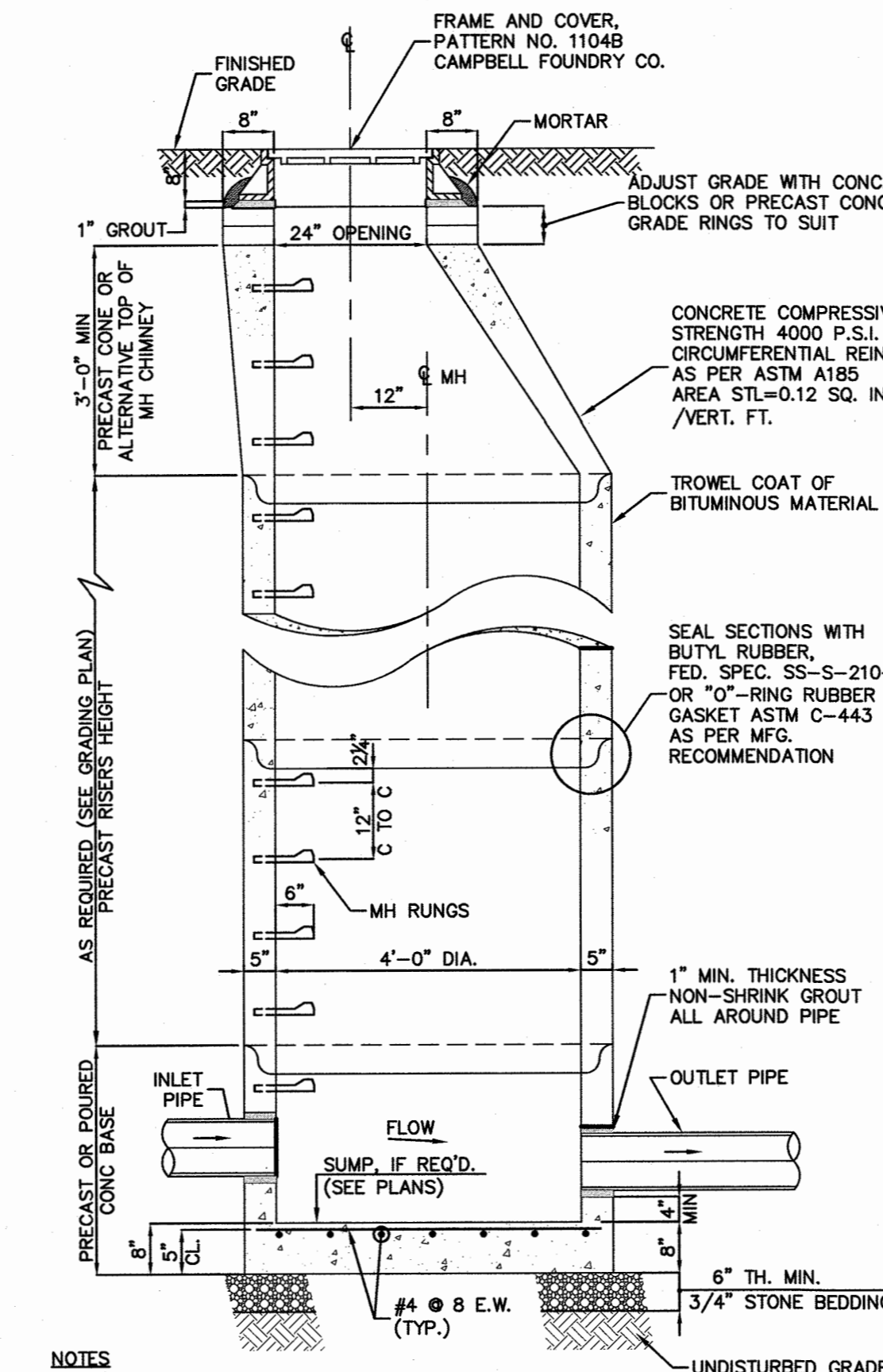


CONNECTION TO EXIST. SANITARY SEWER MANHOLE

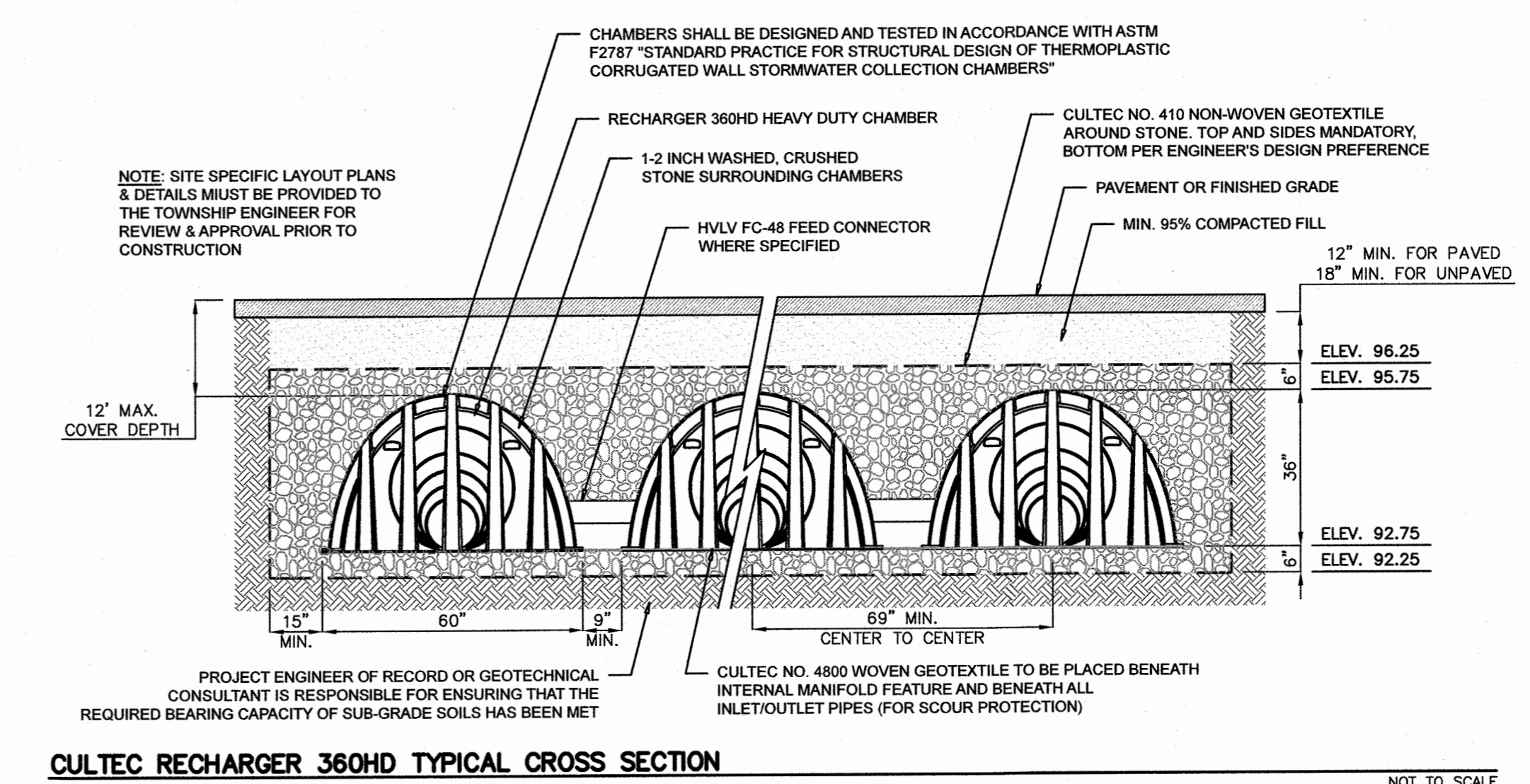


INSPECTION PORT DETAIL

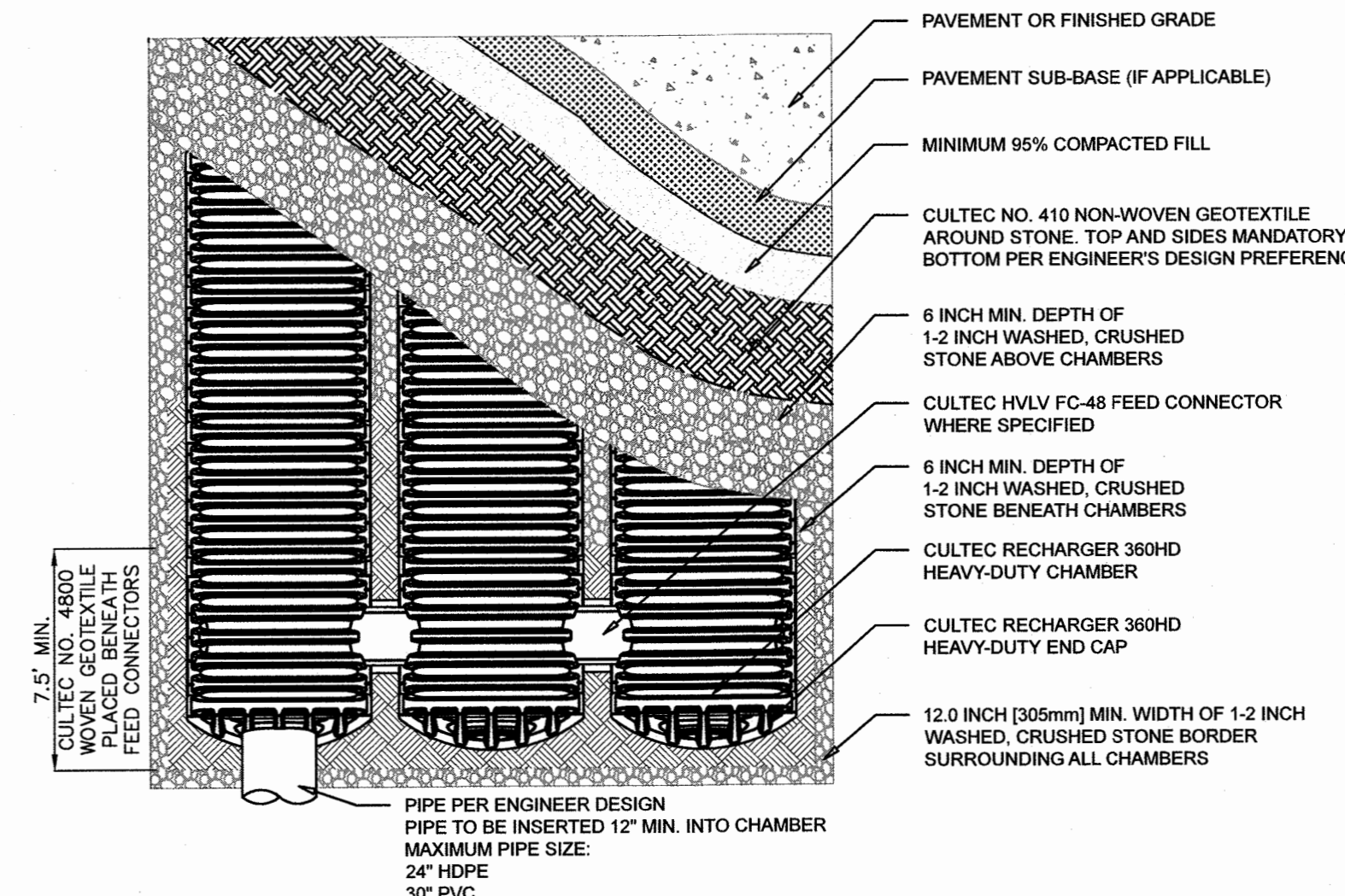
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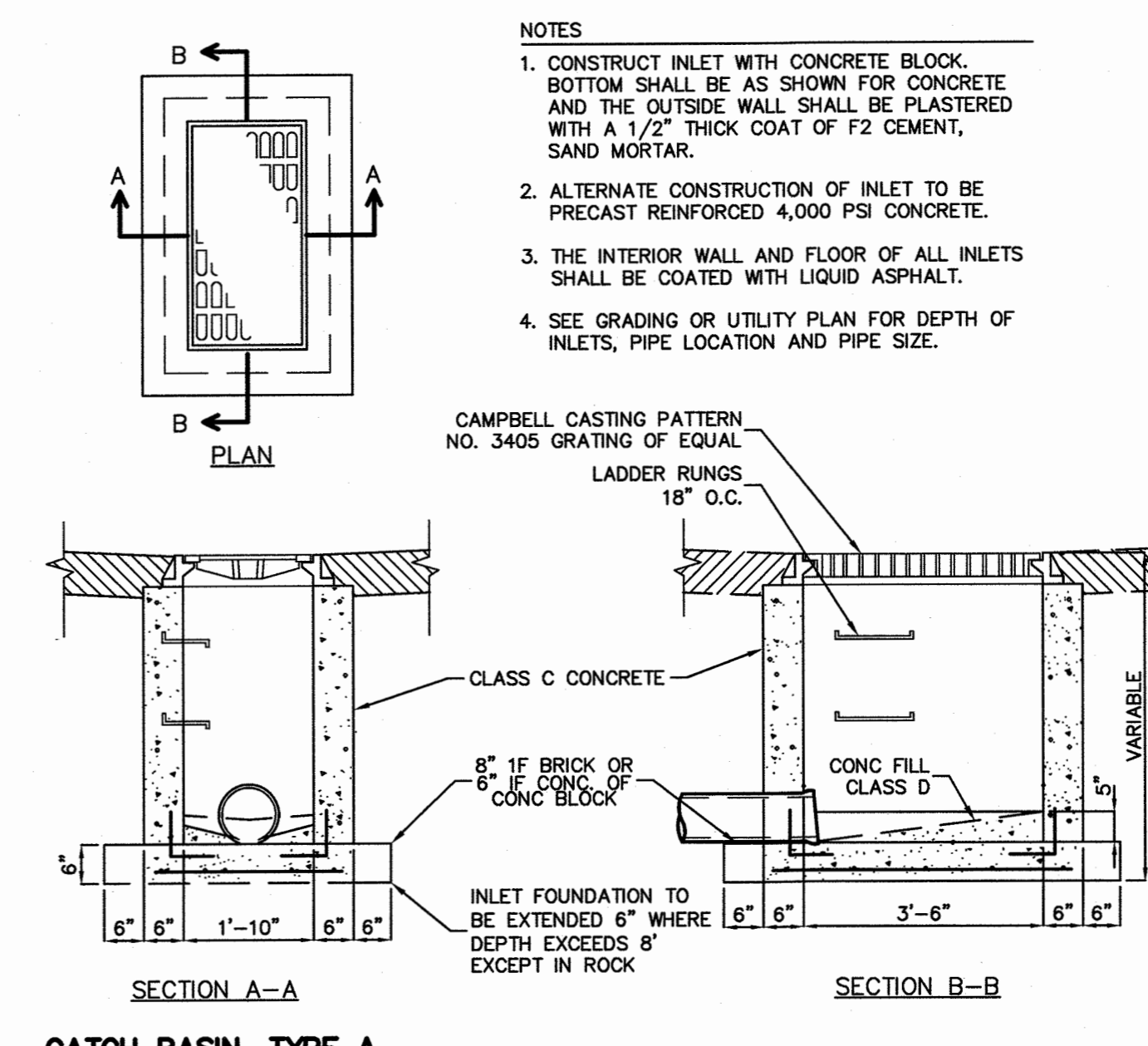
DRAINAGE MANHOLE



CULTEC RECHARGER 360HD TYPICAL CROSS SECTION



CULTEC RECHARGER 360HD PLAN VIEW



CATCH BASIN, TYPE A

NOTES

1. CONSTRUCT INLET WITH CONCRETE BLOCK. BOTTOM SHALL BE AS SHOWN FOR CONCRETE AND THE OUTSIDE WALL SHALL BE PLASTERED WITH A 1/2" THICK COAT OF F2 CEMENT, SAND MORTAR.
2. ALTERNATE CONSTRUCTION OF INLET TO BE PRECAST REINFORCED 4,000 PSI CONCRETE.
3. THE INTERIOR WALL AND FLOOR OF ALL INLETS SHALL BE COATED WITH LIQUID ASPHALT.
4. SEE GRADING OR UTILITY PLAN FOR DEPTH OF INLETS, PIPE LOCATION AND PIPE SIZE.

66 GLEN AVENUE  
GLEN ROCK, NJ 07452  
P: 201.670.6688  
F: 201.670.6788  
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**SHAN-PEI FANCHIANG, P.E.**  
PROFESSIONAL ENGINEER  
NJ LIC. NO. 37073  
NY LIC. NO. 071209

NO.	DATE	REVISION
1	3-10-22	ADD INLET & MANHOLE CONNECTION DETAILS
2	4-25-22	REVISE PER BOROUGH ENGINEER

UTILITY DETAILS

**MULTI-FAMILY APT. BUILDING**  
BLOCK 95, LOTS 1.01 & 1.02  
51 QUEEN ANNE ROAD  
BOROUGH OF BOGOTA  
BERGEN COUNTY, NEW JERSEY

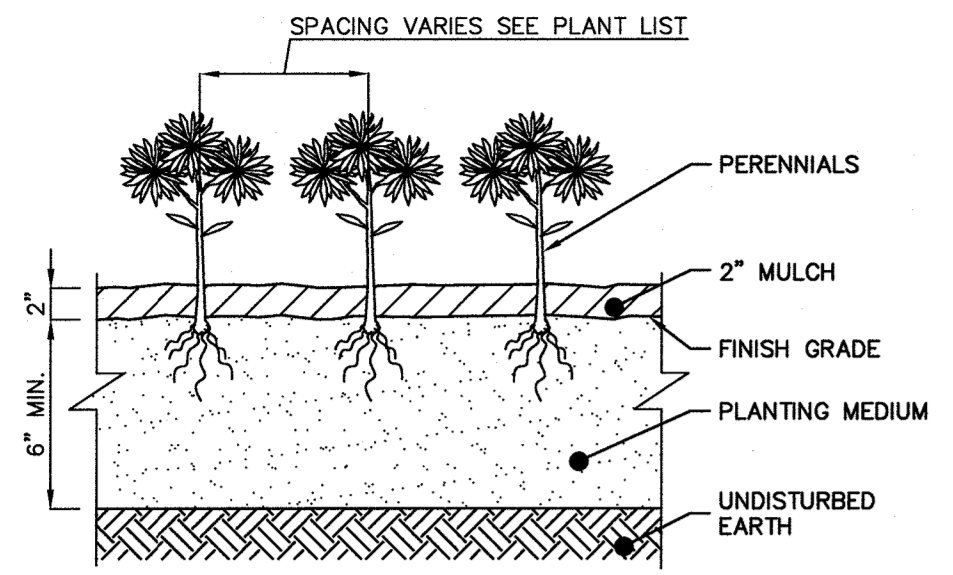
51 QUEEN ANNE ROAD REALTY LLC  
3 HUBBARDTOWN ROAD  
WAYNE, NJ 07470

24GA28068900 / 21MH0002800  
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SCALE: AS SHOWN PROJECT NO: 21-252  
DATE: 12-14-21 REVISION NO: 2

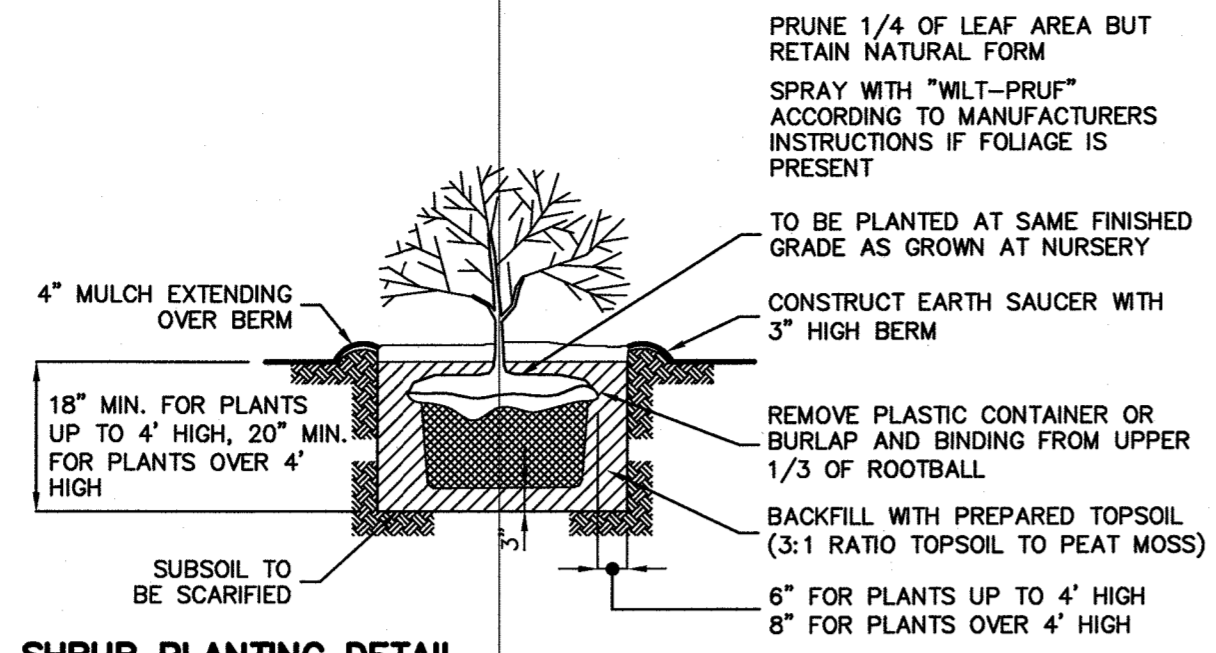
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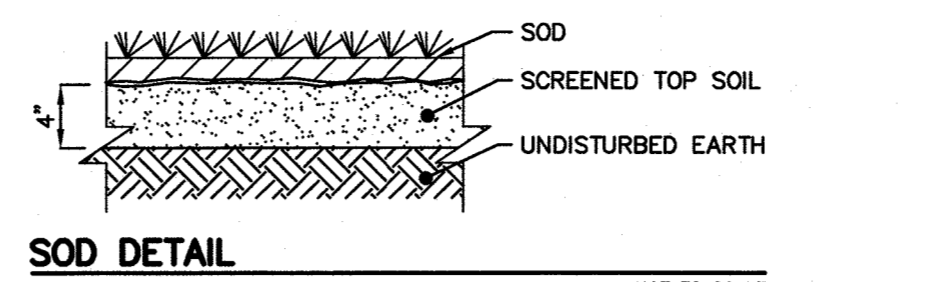




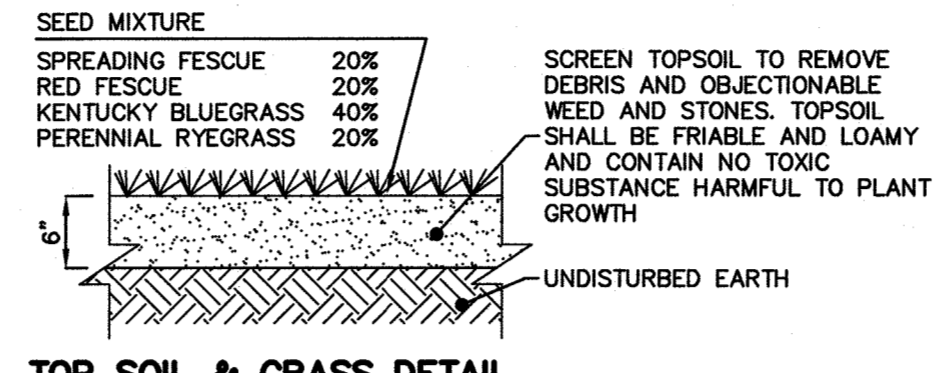
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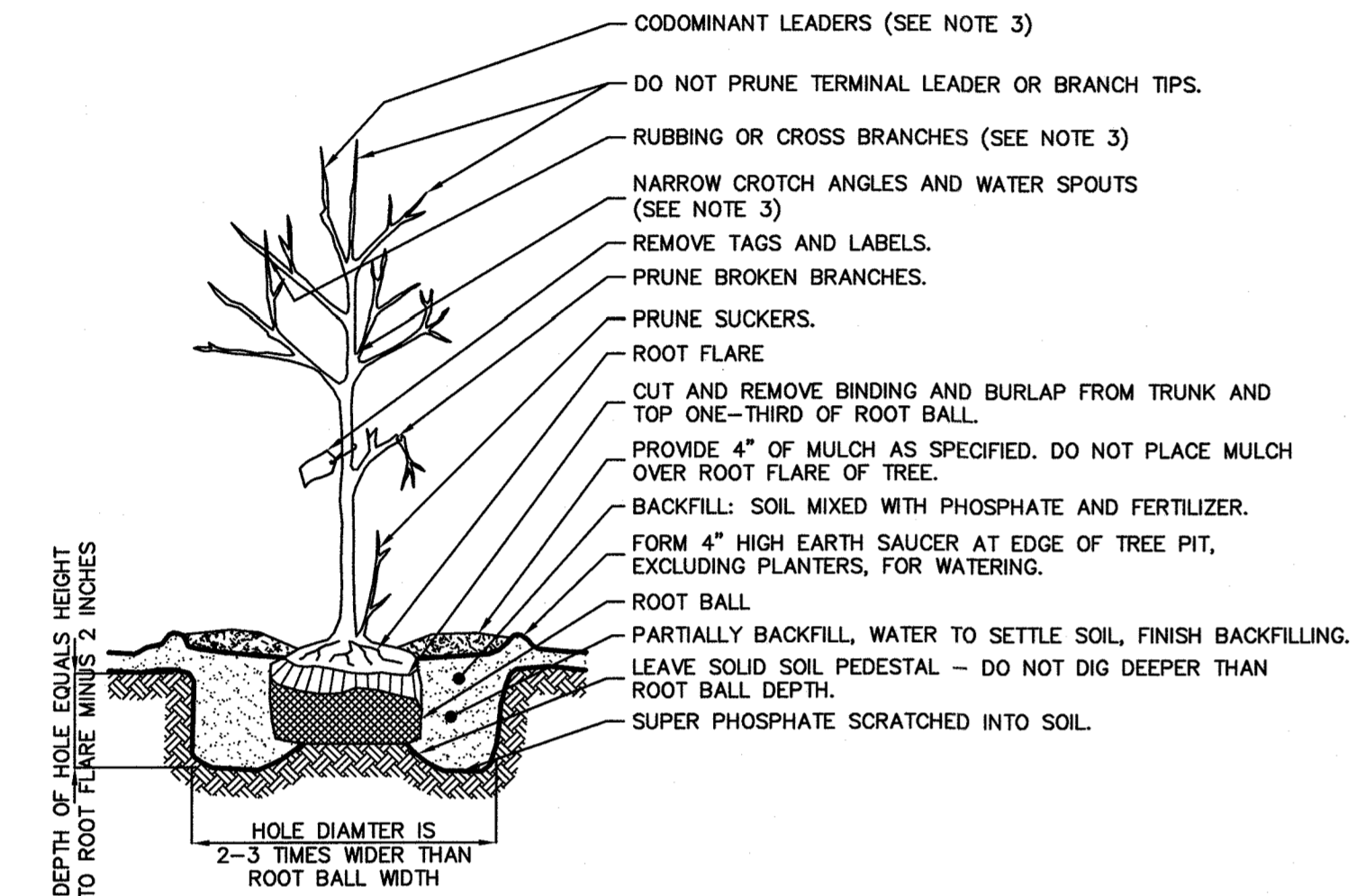
**SHRUB PLANTING DETAIL**  
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**SOD DETAIL**  
NOT TO SCALE

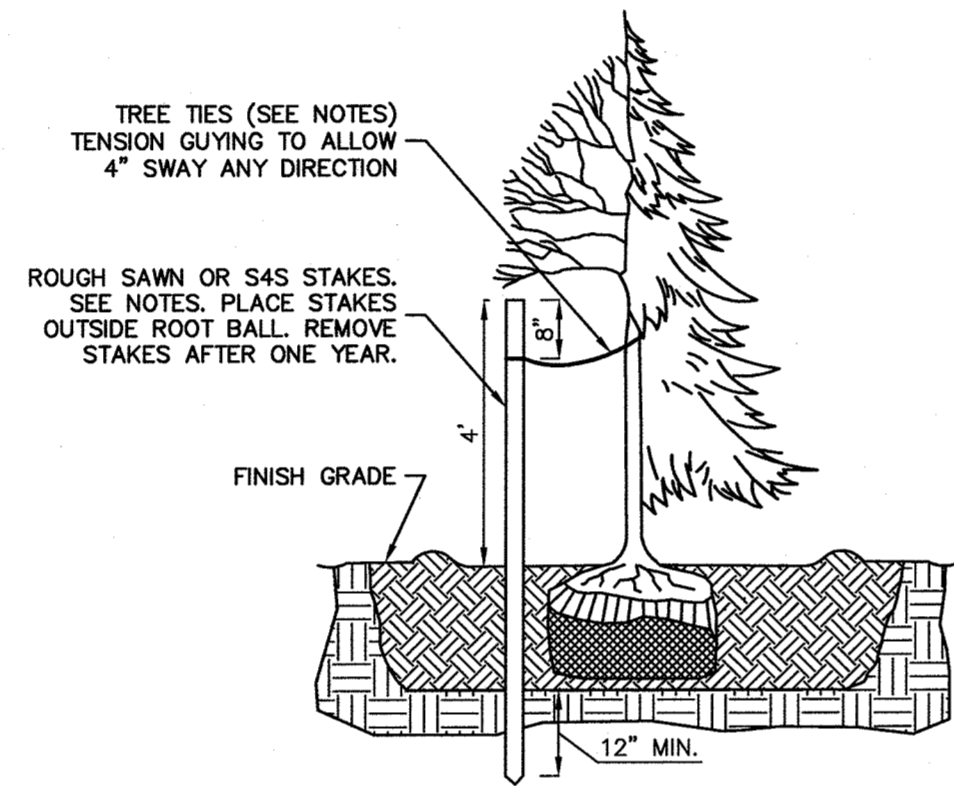


**TOP SOIL & GRASS DETAIL**  
NOT TO SCALE



- NOTES:**
1. WIRE BASKETS ARE TO BE REMOVED PRIOR TO BACKFILLING THE PLANTING PIT.
  2. DO NOT STAKE TREE OR WRAP TRUNK UNLESS SPECIFIED ON PLANS OR REQUIRED BY A REVIEWING ENGINEER OR INSPECTOR. IF STAKING IS REQUIRED SEE "TREE STAKING DETAIL", THIS SHEET. IF TRUNK WRAPPING IS REQUIRED USE A WATERPROOF, BIODEGRADABLE TREE WRAP WITH 50% OVERLAP SECURED WITH HEMP CORD TO FIRST BRANCHING.
  3. AT TIME OF PLANTING, ONLY PRUNE DEAD OR BROKEN BRANCHES, ANY SUCKERS AND ANY BRANCHES THAT MAY BE A HAZARD TO PEDESTRIANS. AT 2-3 YEARS AFTER PLANTING, PRUNE THE FOLLOWING: CODOMINANT LEADERS, RUBBING OR CROSS BRANCHES, WATER SPOUTS AND BRANCHES WITH NARROW CROTCH ANGLES.

**TYPICAL TREE PLANTING DETAIL**  
NOT TO SCALE



**TREE STAKING DETAIL**  
NOT TO SCALE

- TREE STAKING NOTES:**
1. STAKES TO BE CONSTRUCTION GRADE, ROUGH SAWN OR FINISHED DOUGLAR FIR OR PINE. STAKE SIZE TO BE 1 1/2" X 1 1/2" BY THE FOLLOWING LENGTHS:  
 - TREES 36" AND SHORTER - USE ONE 6 FT (APPROX.) STAKE  
 - TREES TALLER THAN 36" - USE TWO 8 FT (APPROX.) STAKES
  2. DRIVE STAKES VERTICALLY AND AT LEAST 12" INTO UNDISTURBED SOIL. DO NOT DRIVE STAKES THROUGH ROOT BALL. LOCATE STAKES TO BEST RESIST PREVAILING WINDS WHERE POSSIBLE.
  3. TREE TIES TO BE EITHER:  
 PLASTIC CHAIN TYPE, APPROX. 1" WIDTH BY 1/8" DEPTH. WHERE TWO STAKES ARE REQUIRED, CROSS THE TIES BETWEEN STAKES AND WRAP TIE ONCE AROUND TREE. FASTEN SECURELY TO STAKE.  
 2 STRANDS #12 GAUGE GALV. ANNEALED STEEL WIRE TWISTED. PORTION OF WIRE THAT GOES AROUND TREE TO BE ENCLOSED IN NEW BLACK REINFORCED RUBBER HOSE. WIRE IS TO BE DOUBLE WRAPPED AROUND STAKE AND TWISTED TO TIGHTEN.

**LAWNS: SEEDING AND SOIL PREPARATION NOTES**

1. CONTRACTOR TO FINE GRADE AND PREPARE ALL SITE AREAS TO RECEIVE SEED. MAKE SITE SMOOTH TO FINAL GRADING PLAN ELEVATIONS, FILL IN DEPRESSIONS, LOW SPOTS AND GRADE SMOOTH.
2. ALL LAWN AREAS WITHIN LAWN LIMIT LINES TO RECEIVE 6" OF TOPSOIL PRIOR TO SEEDING OPERATIONS. ONCE TOPSOIL HAS BEEN PLACED, CONSTRUCTION ACTIVITY OF ANY KIND (EXCLUDING LANDSCAPING) SHALL NOT BE PERMITTED ON OR ACROSS ANY PLANTING AREA. CONTRACTOR SHALL FULLY EXCAVATE ANY PLANTING AREA THAT IS DISTURBED AND REPLACE WITH TOPSOIL.
3. HYDROSEEDING IS ACCEPTABLE. APPLY WITH APPROVED EQUIPMENT DESIGNED FOR PROFESSIONAL HYDROSEEDING APPLICATIONS AT RECOMMENDED RATES.
4. PROVIDE FRESH, CLEAN NEW-CROP "PREMIUM" GRADE SEED AND SEED MIXES AS FOLLOWS: (SUBMIT SEASONAL MIX ALTERNATIVE AS APPROPRIATE)  
 40% KENTUCKY BLUEGRASS  
 30% PERENNIAL RYE GRASS  
 30% TURF TYPE TALL FESCUE
5. APPLY SEED AT RATE OF MINIMUM 175 POUNDS PER ACRES (4 LBS/1,000 SF).
6. SCARIFY SOIL TO DEPTH OF 3 INCHES PRIOR TO APPLICATION.
7. LAWN SHALL BE SEED FOLLOWING SCARIFYING. FINAL GRADING, FERTILIZING, AND RAKING. LAWN SHALL BE FERTILIZED WITH 12-12-12 ANALYSIS FERTILIZER AT A RATE OF 10 LBS/1,000 SF. APPLY SEED MIX AT SPECIFIED RATE, AND LIGHTLY RAKE INTO TOP 1/4 INCH OF SOIL.
8. MULCH SEEDING AREAS WITH STRAW MULCH AT RATE OF MINIMUM 1 1/2 TON PER ACRE (70 LBS/1,000 SF). CRIMP OR TACK STRAW MULCH TO REMAIN IN PLACE UNTIL COMPLETE GERMINATION OF SEED AND ESTABLISHED GROWTH.
9. WATER AND MAINTAIN GRASS UNTIL STAND IS ESTABLISHED AND READY FOR MOWING AT MINIMUM 4 INCH HEIGHT. CONTINUE TO WATER FOR A MINIMUM 30 DAYS OR UNTIL ACCEPTED BY OWNER.
10. FOLLOWING SEEDING OPERATIONS, CLEAN UP EXCESS MATERIALS, AND CLEAN ALL BARK MULCHED AND PAVED AREAS.
11. FOLLOWING GERMINATION, APPLY HERBICIDE TO ALL GRASS GROWTH IN PLANT MULCH AREAS.
12. ALL LAWN SHALL BE GUARANTEED TO HAVE A FULL UNIFORM STAND OF ACCEPTABLE GRASS AT THE END OF THE ONE YEAR GUARANTEE PERIOD WITH NO BARE SPOTS COMPRISING MORE THAN 2% OF ANY LAWN AREA. ANY AREA SO NOTED WILL BE RESEED OR SODDED UNTIL AN ACCEPTABLE STAND OF GRASS IS ESTABLISHED.
13. ALL DISTURBED LAWN AREAS SHALL BE SEED AS NOTED AND AS APPROVED BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.

**LAWNS: SODDING AND SOIL PREPARATION NOTES**

1. CONTRACTOR TO FINE GRADE AND PREPARE ALL SITE AREAS TO RECEIVE SOD. MAKE SITE SMOOTH TO FINAL GRADING PLAN ELEVATIONS, FILL IN DEPRESSIONS, LOW SPOTS AND GRADE SMOOTH.
2. ALL LAWN AREAS WITHIN LAWN LIMIT LINES TO RECEIVE 6" OF TOPSOIL PRIOR TO SODDING OPERATIONS. ONCE TOPSOIL HAS BEEN PLACED, CONSTRUCTION ACTIVITY OF ANY KIND (EXCLUDING LANDSCAPING) SHALL NOT BE PERMITTED ON OR ACROSS ANY PLANTING AREA. CONTRACTOR SHALL FULLY EXCAVATE ANY PLANTING AREA THAT IS DISTURBED AND REPLACE WITH TOPSOIL. SCARIFY SOIL TO DEPTH OF 3± INCHES PRIOR TO APPLICATION.
3. LAWN SHALL BE SODDED FOLLOWING SCARIFYING, FINAL GRADING, FERTILIZING, AND RAKING. LAWN SHALL BE FERTILIZED WITH 12-12-12 ANALYSIS FERTILIZER AT A RATE OF 10 LBS/1,000 SF.
4. WATER AND MAINTAIN GRASS UNTIL STAND IS ESTABLISHED AND READY FOR MOWING AT MINIMUM 4 INCH HEIGHT. CONTINUE TO WATER FOR A MINIMUM 30 DAYS OR UNTIL ACCEPTED BY OWNER.
5. FOLLOWING SODDING OPERATIONS, CLEAN UP EXCESS MATERIALS, AND CLEAN ALL BARK MULCHED AND PAVED AREAS. ALL LAWN SHALL BE GUARANTEED TO HAVE A UNIFORM STAND OF ACCEPTABLE GRASS AT THE END OF THE ONE YEAR GUARANTEE PERIOD WITH NO BARE SPOTS COMPRISING MORE THAN 2% OF ANY LAWN AREA. ANY AREA SO NOTED WILL BE SODDED UNTIL AN ACCEPTABLE STAND OF GRASS IS ESTABLISHED.
6. ALL DISTURBED LAWN AREAS SHALL BE SODDED AS NOTED AND AS APPROVED BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.

66 GLEN AVENUE  
GLEN ROCK, NJ 07630  
P 201.670.6688  
F 201.670.9788  
www.bertinengineering.com

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PROFESSIONAL ENGINEER  
CT LIC. NO. 12950 NJ LIC. NO. 28845  
MA LIC. NO. 40595 NY LIC. NO. 60022  
NH LIC. NO. 9368 RI LIC. NO. 6694

**SHAN-PEI FANCHIANG, P.E.**  
PROFESSIONAL ENGINEER  
NJ LIC. NO. 37073  
NY LIC. NO. 071209

NO.	DATE	REVISION

**LANDSCAPE DETAILS**

**PROJECT**  
**MULTI-FAMILY APT. BUILDING**  
BLOCK 95, LOTS 1.01 & 1.02  
51 QUEEN ANNE ROAD  
BOROUGH OF BOGOTA  
BERGEN COUNTY, NEW JERSEY

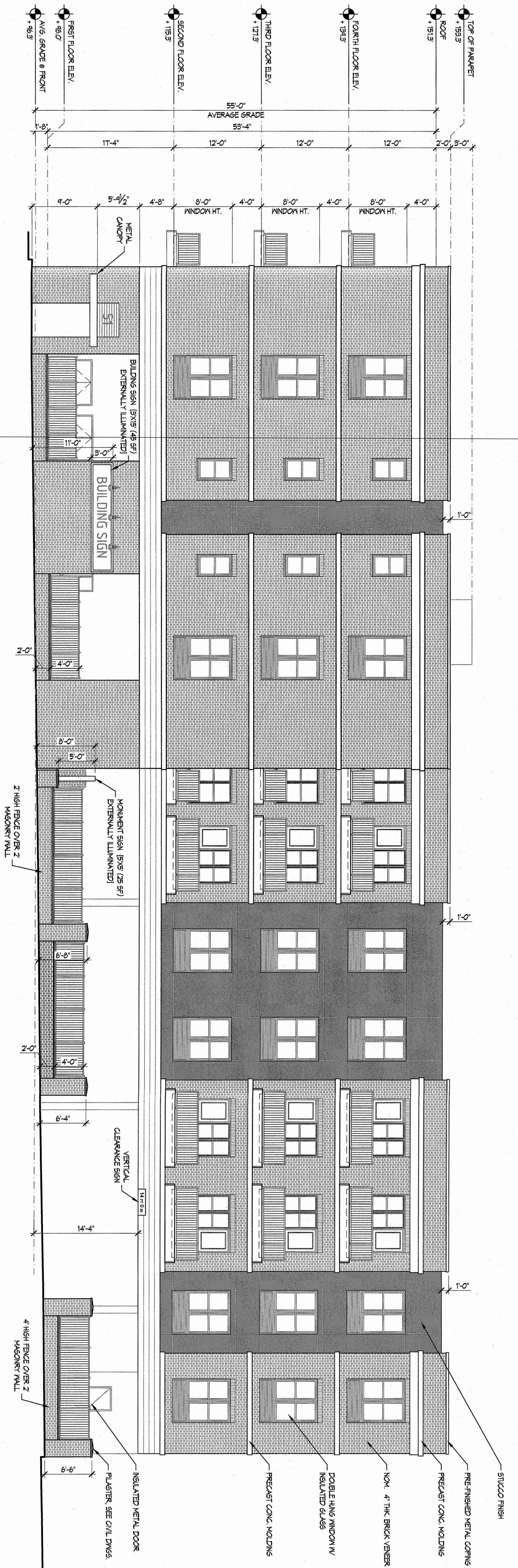
**CLIENT**  
**51 QUEEN ANNE ROAD REALTY LLC**  
3 HUBBARDTON ROAD  
WAYNE, NJ 07470

CERTIFICATE OF AUTHORIZATION 24GA28068900 / ZIMH00002800	
DRAWN BY J.A.S.	CHECKED BY J.A.
SCALE AS SHOWN	PROJECT NO. 21-252
DATE 12-14-21	REVISION NO. 0

**C3.3**

**PRELIMINARY**  
**FRONT ELEVATION [FACING QUEEN ANNE RD]**

1 SCALE: 1/8"=1'-0"

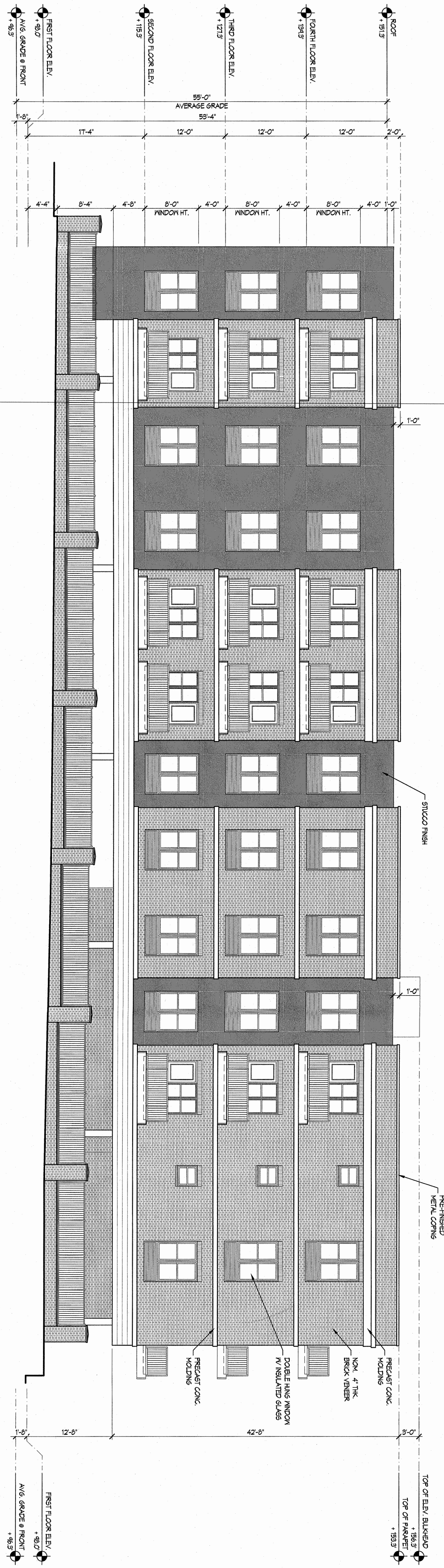


TOP OF PARAPET +19.3  
ROOF +19.3  
FOURTH FLOOR ELEV. +19.3  
THIRD FLOOR ELEV. +17.3  
SECOND FLOOR ELEV. +15.3  
FIRST FLOOR ELEV. +9.0  
AVG. GRADE @ FRONT +8.3

TOP OF ELEV. BACKDROP +15.3  
TOP OF PARAPET +15.3

**PRELIMINARY**  
**REAR ELEVATION**

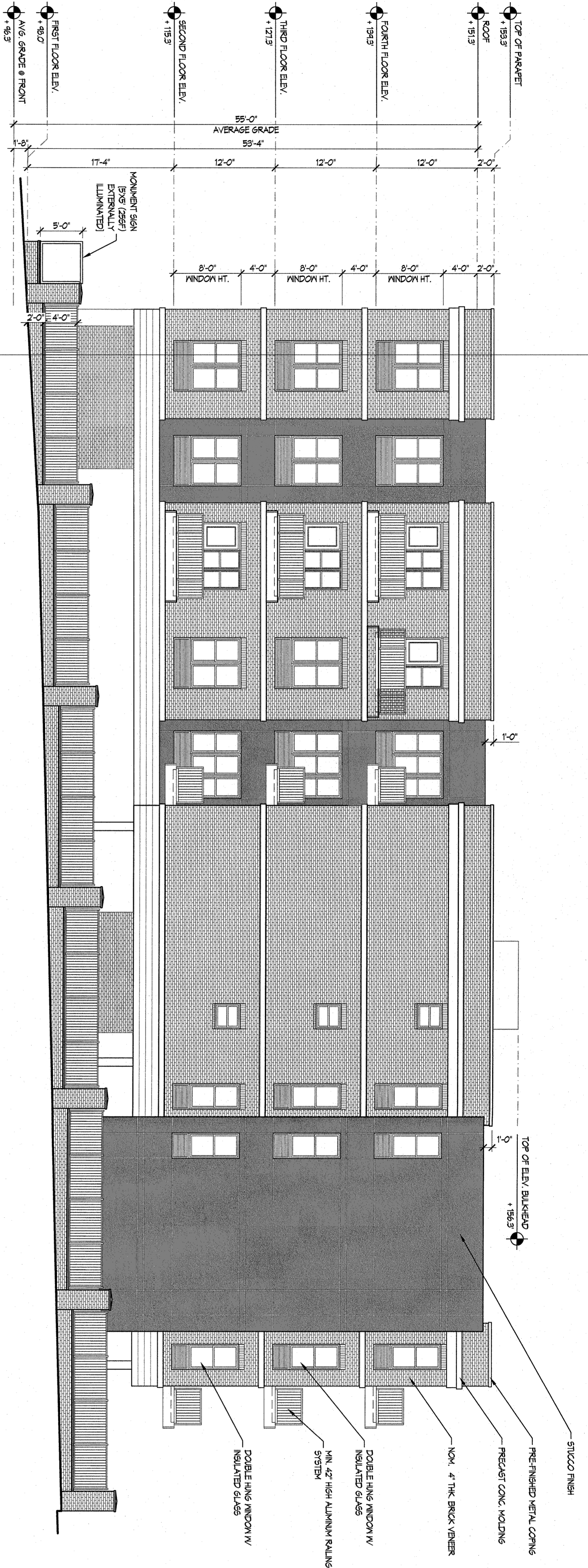
2 SCALE: 1/8"=1'-0"



TOP OF PARAPET +19.3  
ROOF +19.3  
FOURTH FLOOR ELEV. +19.3  
THIRD FLOOR ELEV. +17.3  
SECOND FLOOR ELEV. +15.3  
FIRST FLOOR ELEV. +9.0  
AVG. GRADE @ FRONT +8.3

TOP OF ELEV. BACKDROP +15.3  
TOP OF PARAPET +15.3

<p><b>BERTIN DESIGN STUDIO</b> CERT. OF AUTH. Z1AC00087500</p>	<p>66 GLEN AVENUE GLEN ROCK, NJ 07452 P 201.670.6688 F 201.670.9788 www.bertinengineering.com</p>	<p>CLIENT <b>51 QUEEN ANNE ROAD REALTY LLC</b> 3 HUBBARDTON ROAD WAYNE, NEW JERSEY 07470</p>	<p>PROJECT <b>MULTIFAMILY APARTMENT BUILDING</b> BLOCK 95, LOTS 1,018,102 51 QUEEN ANNE ROAD COUNTY OF BERGEN, BOROUGH OF BOGOTA, NEW JERSEY 07603</p>	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISIONS</th> </tr> </thead> <tbody> <tr> <td>4</td> <td>6-1-22</td> <td>REVISE EXTERIOR ELEVATION PER REVISED FLOOR PLAN</td> </tr> <tr> <td>3</td> <td>4-25-22</td> <td>REMOVE BALCONY PROJECTIONS ON THE NORTH FACE</td> </tr> <tr> <td>2</td> <td>4-14-22</td> <td>UPDATE PER REVISED SITE AND FIRST FLOOR PLAN</td> </tr> <tr> <td>1</td> <td>3-10-22</td> <td>ADD SIGN LOCATION AND INFORMATION</td> </tr> </tbody> </table>	NO.	DATE	REVISIONS	4	6-1-22	REVISE EXTERIOR ELEVATION PER REVISED FLOOR PLAN	3	4-25-22	REMOVE BALCONY PROJECTIONS ON THE NORTH FACE	2	4-14-22	UPDATE PER REVISED SITE AND FIRST FLOOR PLAN	1	3-10-22	ADD SIGN LOCATION AND INFORMATION	<p>CERTIFICATE OF AUTHORIZATION GA 28068900</p> <p>THIS DRAWING IS THE PROPERTY OF THE CLIENT AND BERTIN ENGINEERING ASSOCIATES INC. AND WAS PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT. REUSE FOR ANY OTHER PURPOSE, WITHOUT AUTHORIZATION BY WRITTEN CONSENT BY THE CLIENT AND BERTIN ENGINEERING ASSOCIATES, INC., IS PROHIBITED.</p> <p>2021</p>	<p><b>JASVINDER ARJANI, R.A.</b> REGISTERED ARCHITECT</p> <p>N.J. LIC. NO.: 18205</p>	<p>NORTH</p>
	NO.	DATE	REVISIONS																			
4	6-1-22	REVISE EXTERIOR ELEVATION PER REVISED FLOOR PLAN																				
3	4-25-22	REMOVE BALCONY PROJECTIONS ON THE NORTH FACE																				
2	4-14-22	UPDATE PER REVISED SITE AND FIRST FLOOR PLAN																				
1	3-10-22	ADD SIGN LOCATION AND INFORMATION																				
<p>DRAWING NO. <b>C-4.1</b></p> <p>DATE: 12-14-2021</p> <p>BY: [Signature]</p> <p>CHECKED: [Signature]</p> <p>SCALE: 1/8"=1'-0"</p>	<p><b>PRELIMINARY EXTERIOR ELEVATIONS - 1</b></p>																					



1 PRELIMINARY  
RIGHT SIDE ELEVATION  
SCALE: 1/8"=1'-0"

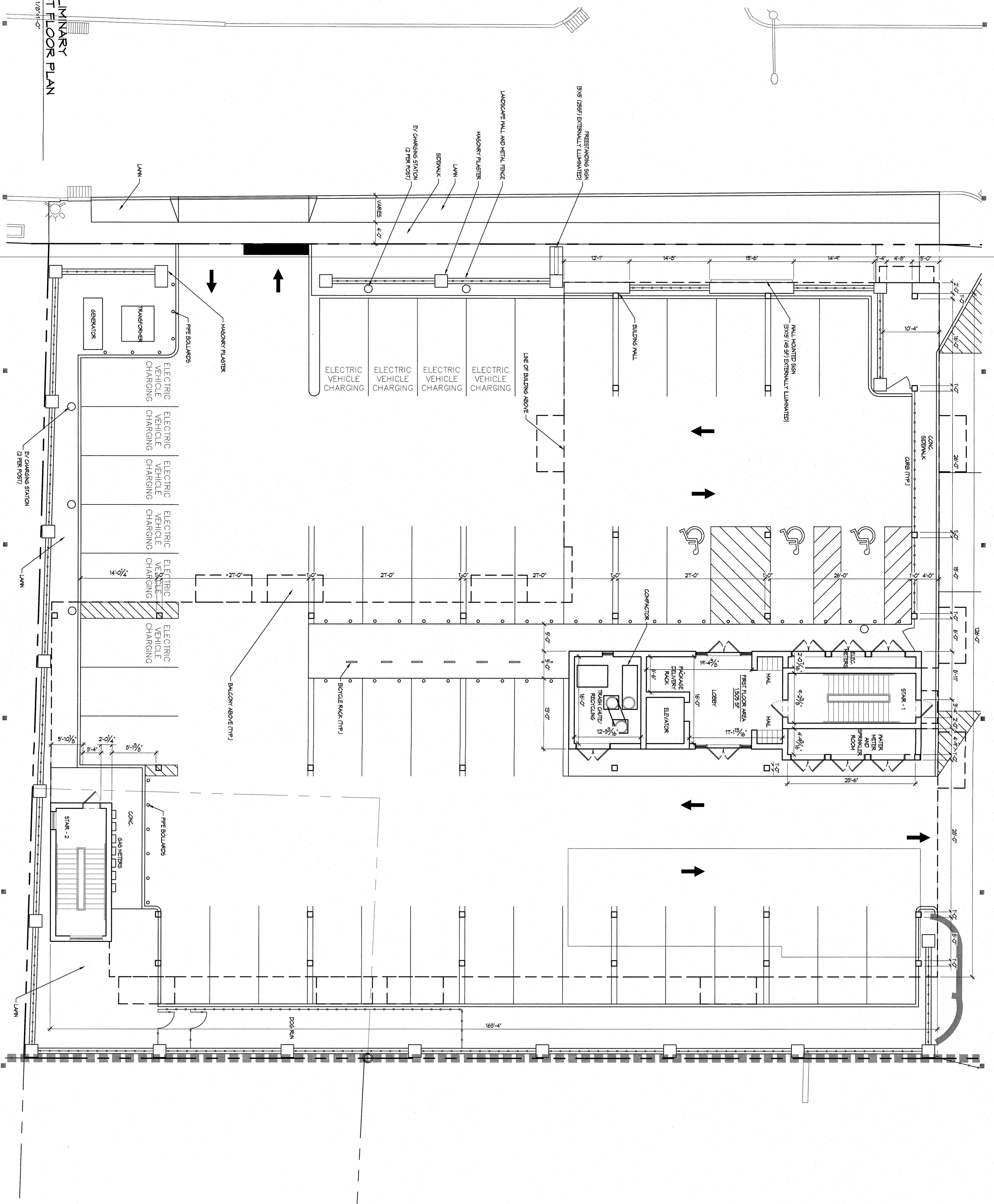


2 PRELIMINARY  
LEFT SIDE ELEVATION  
SCALE: 1/8"=1'-0"

<p><b>BERTIN DESIGN STUDIO</b> CERT. OF AUTH. 21AC00087500</p>	<p>66 GLEN AVENUE GLEN ROCK, NJ 07432 P: 201.670.6688 F: 201.670.9788 www.bertinengineering.com</p>	<p>CLIENT <b>51 QUEEN ANNE ROAD REALTY LLC</b> 3 HUBBARDTON ROAD WAYNE, NEW JERSEY 07470</p>	<p>NO. DATE REVISIONS</p> <table border="1"> <tr> <td>4</td> <td>6-1-22</td> <td>REVISE EXTERIOR ELEVATION PER REVISED FLOOR PLAN</td> </tr> <tr> <td>3</td> <td>4-25-22</td> <td>REMOVE BALCONY PROJECTIONS ON THE NORTH FACE</td> </tr> <tr> <td>2</td> <td>4-14-22</td> <td>UPDATE PER REVISED SITE AND FIRST FLOOR PLAN</td> </tr> <tr> <td>1</td> <td>3-10-22</td> <td>ADD SIGN LOCATION AND INFORMATION</td> </tr> </table>	4	6-1-22	REVISE EXTERIOR ELEVATION PER REVISED FLOOR PLAN	3	4-25-22	REMOVE BALCONY PROJECTIONS ON THE NORTH FACE	2	4-14-22	UPDATE PER REVISED SITE AND FIRST FLOOR PLAN	1	3-10-22	ADD SIGN LOCATION AND INFORMATION	<p>CERTIFICATE OF AUTHORIZATION GA 28068900</p> <p>THIS DRAWING IS THE PROPERTY OF THE CLIENT AND BERTIN ENGINEERING ASSOCIATES INC. AND WAS PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT. REUSE FOR ANY OTHER PURPOSE, WITHOUT AUTHORIZATION BY WRITTEN CONSENT BY THE CLIENT AND BERTIN ENGINEERING ASSOCIATES, INC., IS PROHIBITED.</p> <p>RS JA JA JA BY</p>	<p><b>JASVINDER ARJANI, R.A.</b> REGISTERED ARCHITECT</p> <p>N.J. LIC. NO.: 18205</p>	<p>NORTH</p>
		4		6-1-22	REVISE EXTERIOR ELEVATION PER REVISED FLOOR PLAN													
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1	3-10-22	ADD SIGN LOCATION AND INFORMATION																
<p>PROJECT <b>MULTIFAMILY APARTMENT BUILDING</b> BLOCK 95, LOTS 101&amp;102 51 QUEEN ANNE ROAD COUNTY OF BERGEN, BOROUGH OF BOGOTA, NEW JERSEY 07603</p>	<p>DRAWING <b>PRELIMINARY EXTERIOR ELEVATIONS - 2</b></p>																	

DRAWING NO. **C-4.2**

**1**  
**PRELIMINARY**  
**FIRST FLOOR PLAN**  
 SCALE: 1/8"=1'-0"

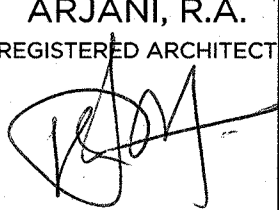


<b>C-4.3</b> DRAWING NO. DATE: 12-14-2021 PROJECT NO.: 21-252	BERTIN DESIGN STUDIO 66 GLEN AVENUE GLEN ROCK, NJ 07462 P: 201.670.6688 F: 201.670.9788 www.bertinengineering.com	CLIENT: 51 QUEEN ANNE ROAD REALTY LLC 3 HUBBARDTON ROAD WAYNE, NEW JERSEY 07470	CERTIFICATE OF AUTHORIZATION GA 28068900		JASVINDER ARJANI, R.A. REGISTERED ARCHITECT  N.J. LIC. NO.: 18205	NORTH
			PROJECT: MULTIFAMILY APARTMENT BUILDING BLOCK 95, LOTS 10181.02 51 QUEEN ANNE ROAD COUNTY OF BERGEN, BOROUGH OF BOGOTA, NEW JERSEY 07603	REVISIONS 4 6-1-22 UPDATE BASED ON SITE PLAN REVISION & BOARD COMMENTS 3 4-25-22 REMOVE BALCONY PROJECTIONS ON THE NORTH FACE 2 4-14-22 INDICATE UTILITIES; RELOCATE WATER ROOM 1 3-10-22 ADD SIGN LOCATION AND INFORMATION		

**1**  
**PRELIMINARY**  
**SECOND FLOOR PLAN**

SCALE: 1/8"=1'-0"

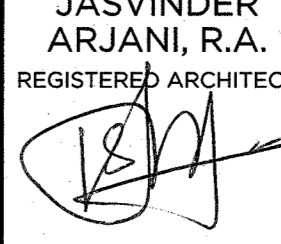


<b>B</b> BERTIN DESIGN STUDIO CERT. OF AUTH. 21AC00087500	66 GLEN AVENUE GLEN ROCK, NJ 07452 P 201.670.6688 F 201.670.9788 www.bertinengineering.com	CLIENT <b>51 QUEEN ANNE ROAD REALTY LLC</b> 3 HUBBARDTON ROAD WAYNE, NEW JERSEY 07470	3 xx REVISE FLOOR PLAN 2 4-25-22 REMOVE BALCONY PROJECTIONS ON THE NORTH FACE 1 4-14-22 REPRINT WITH NEW REVISION DATE NO. DATE REVISIONS	ArC JA JA BY	CERTIFICATE OF AUTHORIZATION EA 28088000	<b>JASVINDER ARJANI, R.A.</b> REGISTERED ARCHITECT  N.J. LIC. NO.: 18205	NORTH
	DRAWING <b>PRELIMINARY</b> <b>SECOND FLOOR PLAN</b>	PROJECT <b>MULTIFAMILY APARTMENT BUILDING</b> BLOCK 55, LOTS 1,018,02 51 QUEEN ANNE ROAD COUNTY OF BERGEN, BOROUGH OF BOGOTA, NEW JERSEY 07603			THIS DRAWING IS THE PROPERTY OF THE CLIENT AND BERTIN ENGINEERING ASSOCIATES INC. AND WAS PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT. REUSE FOR ANY OTHER PURPOSE, WITHOUT AUTHORIZATION BY WRITTEN CONSENT BY THE CLIENT AND BERTIN ENGINEERING ASSOCIATES, INC., IS PROHIBITED. 2021		

**C-4.4**


1  
SCALE: 1/8"=1'-0"  
PRELIMINARY  
THIRD FLOOR PLAN

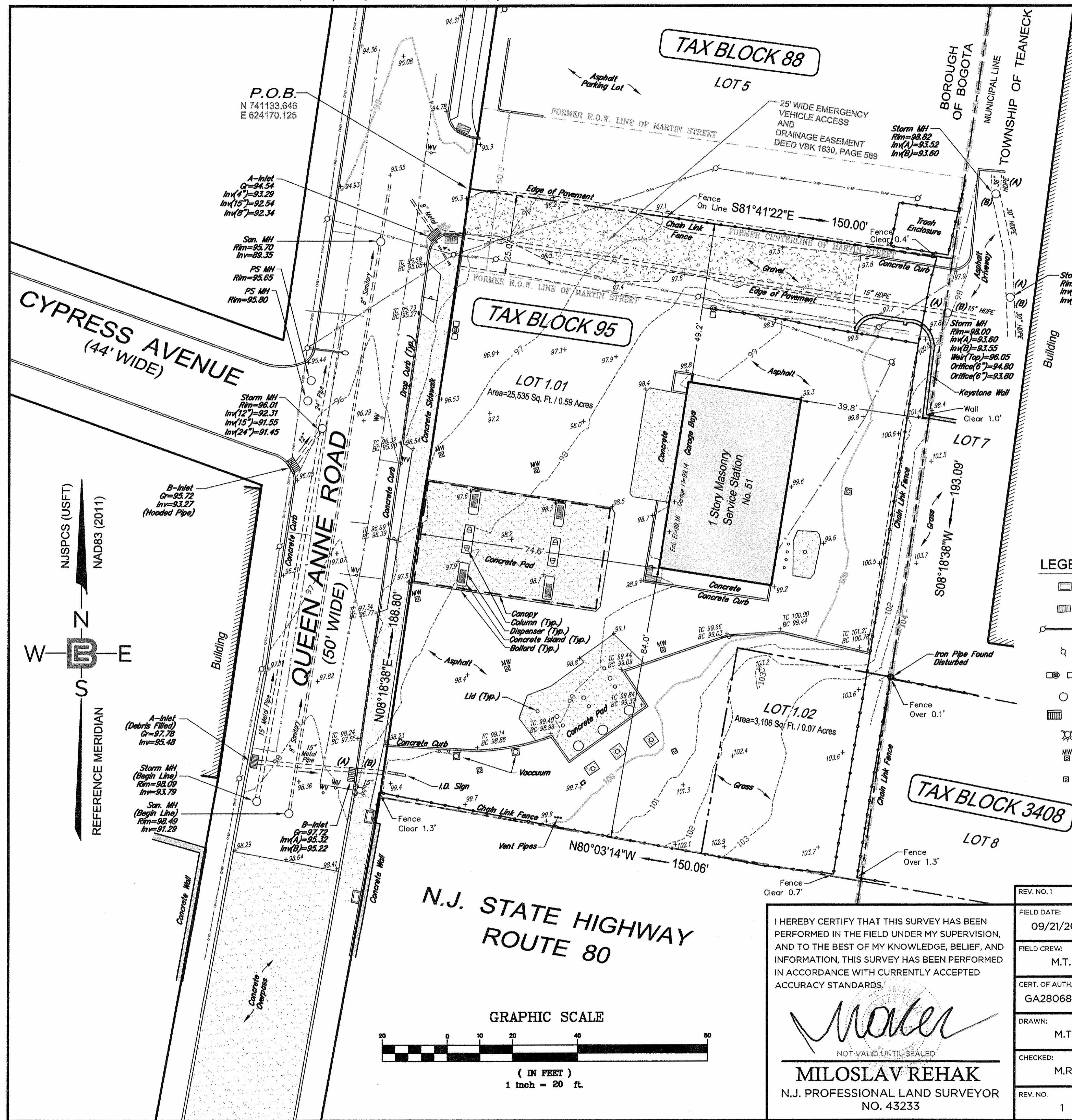


<b>B</b> BERTIN DESIGN STUDIO 66 GLEN AVENUE GLEN ROCK, NJ 07452 P 201.670.6688 F 201.670.9788 www.bertinengineering.com	CLIENT <b>51 QUEEN ANNE ROAD REALTY LLC</b> 3 HUBBARDTON ROAD WAYNE, NEW JERSEY 07470	PROJECT <b>MULTIFAMILY APARTMENT BUILDING</b> BLOCK 95, LOTS 1,018,102 51 QUEEN ANNE ROAD COUNTY OF BERGEN, BOROUGH OF BOGOTA, NEW JERSEY 07603	3 6-1-22 2 4-25-22 1 4-14-22	REVISIONS REVISE FLOOR LAYOUT FOR UNITS 301, 302, 304 AND 305 REMOVE BALCONY PROJECTIONS FROM THE NORTH FACE ADD WINDOW AT END OF CORRIDOR	CERTIFICATE OF AUTHORIZATION GA 28068900 THIS DRAWING IS THE PROPERTY OF THE CLIENT AND BERTIN ENGINEERING ASSOCIATES INC. AND WAS PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT. REUSE FOR ANY OTHER PURPOSE, WITHOUT AUTHORIZATION BY WRITTEN CONSENT BY THE CLIENT AND BERTIN ENGINEERING ASSOCIATES, INC., IS PROHIBITED.	JASVINDER ARJANI, R.A. REGISTERED ARCHITECT  N.J. LIC. NO.: 18205	NORTH
	DRAWING <b>PRELIMINARY THIRD FLOOR PLAN</b>		NO. DATE REVISIONS	ARJ JA JA BY	2021		

1  
SCALE: 1/8"=1'-0"  
**PRELIMINARY  
FOURTH FLOOR PLAN**



<b>B</b> BERTIN DESIGN STUDIO CERT. OF AUTH. 21AC00087500	66 GLEN AVENUE GLEN ROCK, NJ 07462 P: 201.670.6688 F: 201.670.9788 www.bertinengineering.com	CLIENT <b>51 QUEEN ANNE ROAD REALTY LLC</b> 3 HUBBARDTON ROAD WAYNE, NEW JERSEY 07470	1 6-1-22 ADDED SHEET C 4.6 TO THE SET NO. DATE REVISIONS	JA BY	CERTIFICATE OF AUTHORIZATION GA 28068900	JASVINDER ARJANI, R.A. REGISTERED ARCHITECT  N.J. LIC. NO.: 18205	NORTH
	DRAWING <b>PRELIMINARY FOURTH FLOOR PLAN</b>	PROJECT <b>MULTIFAMILY APARTMENT BUILDING</b> BLOCK 95, LOTS 101&102 51 QUEEN ANNE ROAD COUNTY OF BERGEN, BOROUGH OF BOGOTA, NEW JERSEY 07603			THIS DRAWING IS THE PROPERTY OF THE CLIENT AND BERTIN ENGINEERING ASSOCIATES INC. AND WAS PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT. REUSE FOR ANY OTHER PURPOSE, WITHOUT AUTHORIZATION BY WRITTEN CONSENT BY THE CLIENT AND BERTIN ENGINEERING ASSOCIATES, INC., IS PROHIBITED. 2021		



**NOTES, certification continued;**

- BOUNDARIES SHOWN ARE THE RESULT OF AN ACTUAL FIELD SURVEY BASED ON AVAILABLE MAPS, DEEDS OF RECORD AND PHYSICAL EVIDENCE, BUT ARE SUBJECT TO ALL EASEMENTS, RIGHT OF WAYS AND AGREEMENTS OF RECORD THAT AN ACCURATE AND THOROUGH TITLE SEARCH MAY DISCLOSE.
- A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO N.J.A.C. 13:40-5.1(D).
- HORIZONTAL DATUM BASED ON NAD 83, VIA GLOBAL POSITIONING SYSTEMS (GPS).
- VERTICAL DATUM BASED ON NAVD 88, GEOID 12A.
- NO ATTEMPT HAS BEEN MADE AS A PART OF THIS BOUNDARY SURVEY TO OBTAIN OR SHOW DATA CONCERNING EXISTENCE, SIZE DEPTH, CONDITION CAPACITY OR LOCATION OF ANY UTILITY OR MUNICIPAL/PUBLIC SERVICE FACILITY. FOR INFORMATION REGARDING THESE UTILITIES PLEASE CONTACT THE APPROPRIATE AGENCIES.
- TOTAL AREA FOR LOTS 1.01 AND 1.02 = 28,841 SQ. FT. / 0.65 ACRES.

**REFERENCES**

- A CERTAIN MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY OF 51 QUEEN ANNE ROAD, LOTS 1.01 & 1.02, BLOCK 95," SITUATED IN THE BOROUGH OF BOGOTA, BERGEN COUNTY, NEW JERSEY, PREPARED BY MARK MARTINS ENGINEERING, LLC., MARK S. MARTINS, P.L.S., AND DATED 12/13/2019.
- TAX MAP OF BOROUGH OF BOGOTA, SHEET 6 & TOWNSHIP OF TEANECK, SHEET 34.
- BASIS OF TITLE: DEED BOOK 2566 PAGE 1535.

**LEGEND**

	JUNCTION BOX		BOLLARD
	DETECTABLE PAD		WATER VALVE
	UTILITY POLE W/STREET LIGHT		SIGN
	UTILITY POLE		SPOT SHOT
	AREA LIGHTS		CONTOUR MINOR
	MANHOLE		CONTOUR MAJOR
	STORM INLET		OH WIRES
	HYDRANT		WATER LINE
	MONITORING WELL		GAS LINE
	LID ON CONCRETE PAD		ELECTRIC LINE
			CHAINLINK FENCE

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

*Miloslav Rehak*  
 NOT VALID UNTIL SEALED  
**MILOSLAV REHAK**  
 N.J. PROFESSIONAL LAND SURVEYOR  
 NO. 43233

REV. NO. 1	DESCRIPTION: ADD SANITARY AND STORM INVERTS	DRAWN: P.A.P.	DATE: 4/14/2022
FIELD DATE: 09/21/2021	<b>LOCATION AND TOPOGRAPHIC SURVEY</b> OF 51 QUEEN ANNE ROAD LOTS 1.01 and 1.02 in BLOCK 95 BOROUGH of BOGOTA COUNTY of BERGEN, N.J.		
FIELD CREW: M.T.			
CERT. OF AUTH. GA28068900	PREPARED FOR <b>AMIR DAIBES</b>		
DRAWN: M.T.	<b>BERTIN ENGINEERING</b> 66 GLEN AVENUE GLEN ROCK, NJ 07452 P 201.670.6688 F 201.670.9788 www.bertinengineering.com		
CHECKED: M.R.			
REV. NO. 1	DATE: SEPTEMBER 23, 2021	SCALE: 1"=20'	FILE NO. 21-252
			DWG NO. <b>SV-1</b>