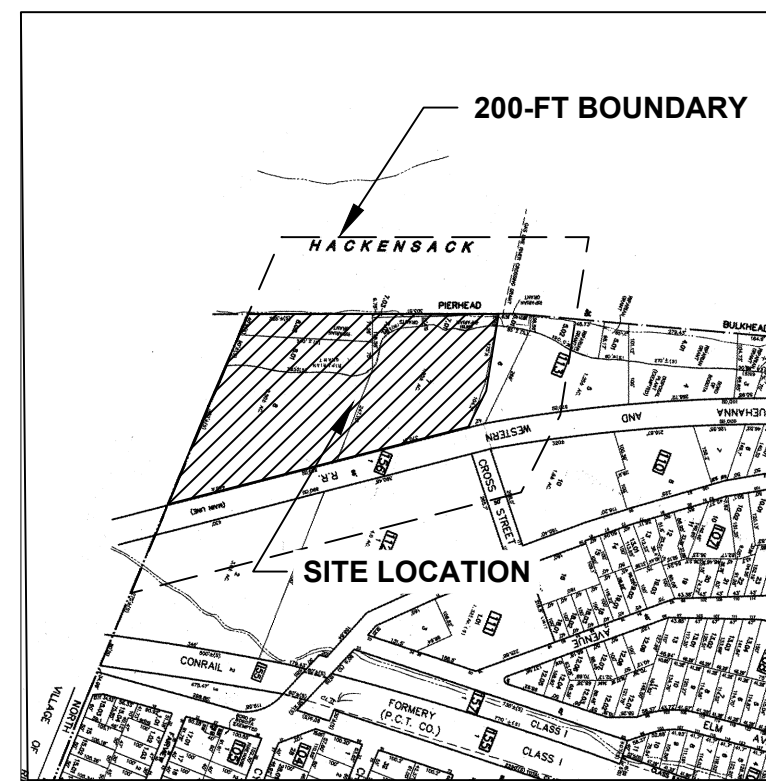


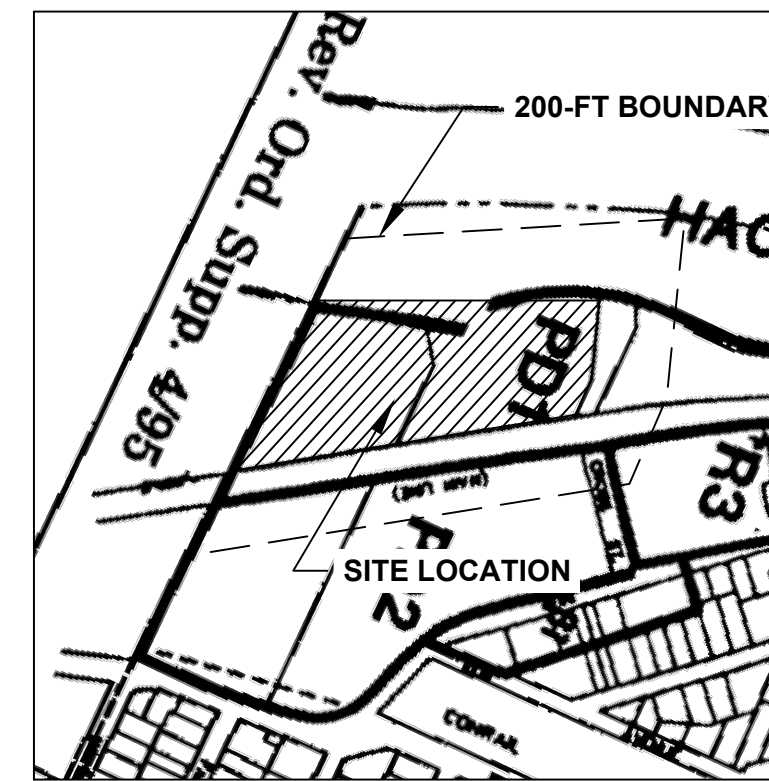
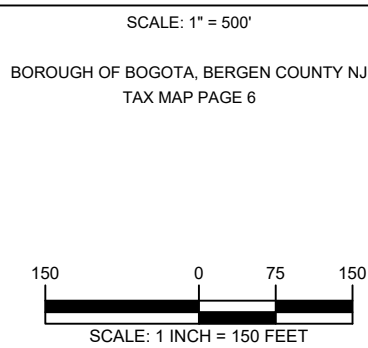
PRELIMINARY AND FINAL SITE PLAN APPLICATION FOR 30 CROSS STREET BLOCK 113, LOT 7, 7.01, 7.02, 7.03 & 8, 8.01, 8.02 (BOGOTA BOROUGH) BLOCK 152.01, LOT 1, 1.01 & 2 (VILLAGE OF RIDGEFIELD PARK) BOROUGH OF BOGOTA, BERGEN COUNTY, NEW JERSEY VILLAGE OF RIDGEFIELD PARK, BERGEN COUNTY, NEW JERSEY

BOGOTA BOROUGH 200-FT PROPERTY OWNER'S LIST

BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION
110	10		42	H&B BROS LLC 321 BOGOTA STREET BOGOTA, NJ	60 RIVER RD
112	1		4A	DEL-TAL FINANCIAL CORP (DVL) INC 14100 STREET LODI, NJ	22 RIVER RD
112	2		4B	DEL-TAL FINANCIAL CORP (DVL) INC 14100 STREET LODI, NJ	14 RIVER ROAD
113	5		4B	RIVER ROCK EQUITIES INC 650 FOUNTAIN AVE BROOKLYN, NY	151 CROSS ST
113	6		1	RIVER ROCK EQUITIES INC 650 FOUNTAIN AVE BROOKLYN, NY	WEST OF NYE & WIR
113	7		4A	RIVER ROCK EQUITIES INC % N. PARK 650 FOUNTAIN AVE BROOKLYN, NY	WEST OF NYE & WIR
113	8		4A	RIVER ROCK EQUITIES INC % N. PARK 650 FOUNTAIN AVE BROOKLYN, NY	WEST OF NYE & WIR
156	1		5A	CONRAIL 100 MORRIS ST. STE 2240 ESTON, NJ	MAINLINE N/S RR

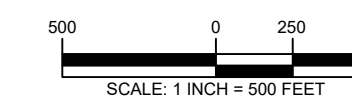


TAX MAP-BOGOTA BOROUGH



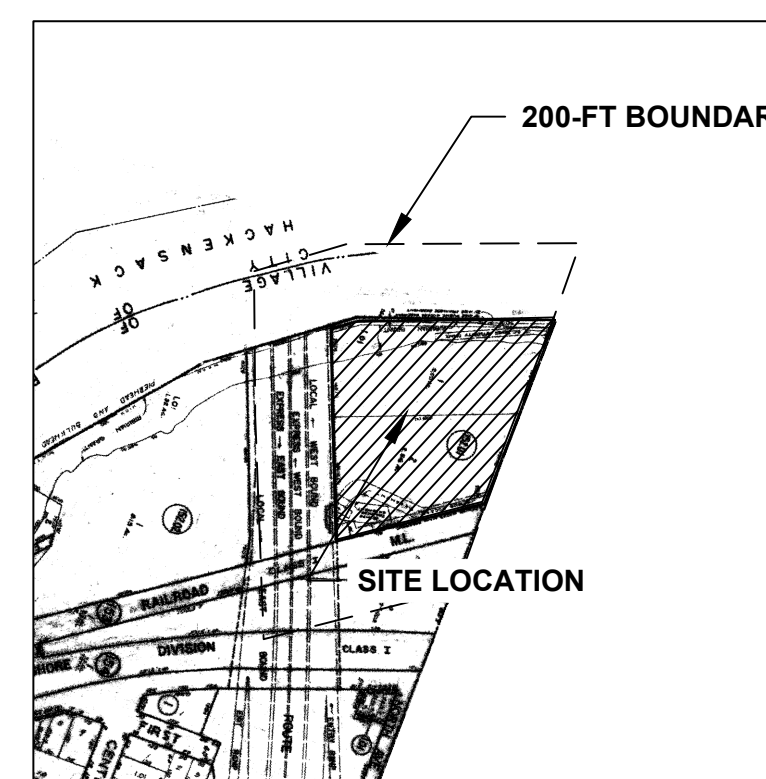
ZONE MAP - BOGOTA BOROUGH
PD-1 PLANNED DEVELOPMENT ZONE
SOUTH END REDEVELOPMENT PLAN OVERLAY

MAP PREPARED BY: BOROUGH OF BOGOTA BERGEN COUNTY NJ
REDEVELOPMENT PLAN PREPARED BY STEWART BURGE

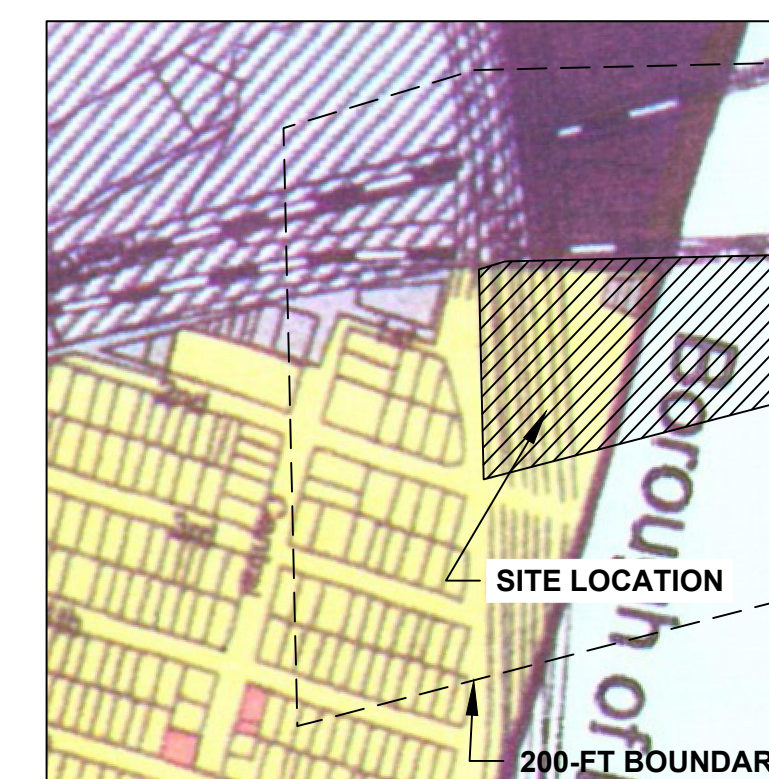
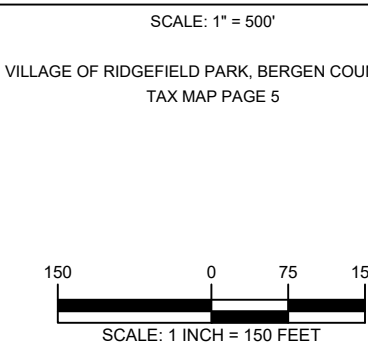


RIDGEFIELD PARK 200-FT PROPERTY OWNER'S LIST

BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Ass 1	Ass 2
152	1		4B	2K AIR HEALTH LLC 300 INDUSTRIAL AVE RIDGEFIELD PARK NJ	INDUSTRIAL AVE	1.01	
152	2		3	2K AIR HEALTH LLC 300 INDUSTRIAL AVE RIDGEFIELD PARK NJ	INDUSTRIAL AVE	2.01, 2.02	
152	3		4A	2K AIR HEALTH LLC 300 INDUSTRIAL AVE RIDGEFIELD PARK NJ	INDUSTRIAL AVE		
152	4		5A	AT&T RAILWAY CORPORATION 1 BELLEVILLE AVE COOPERSTOWN NY	MAINLINE N/S RR	ASSESSED BY STATE	

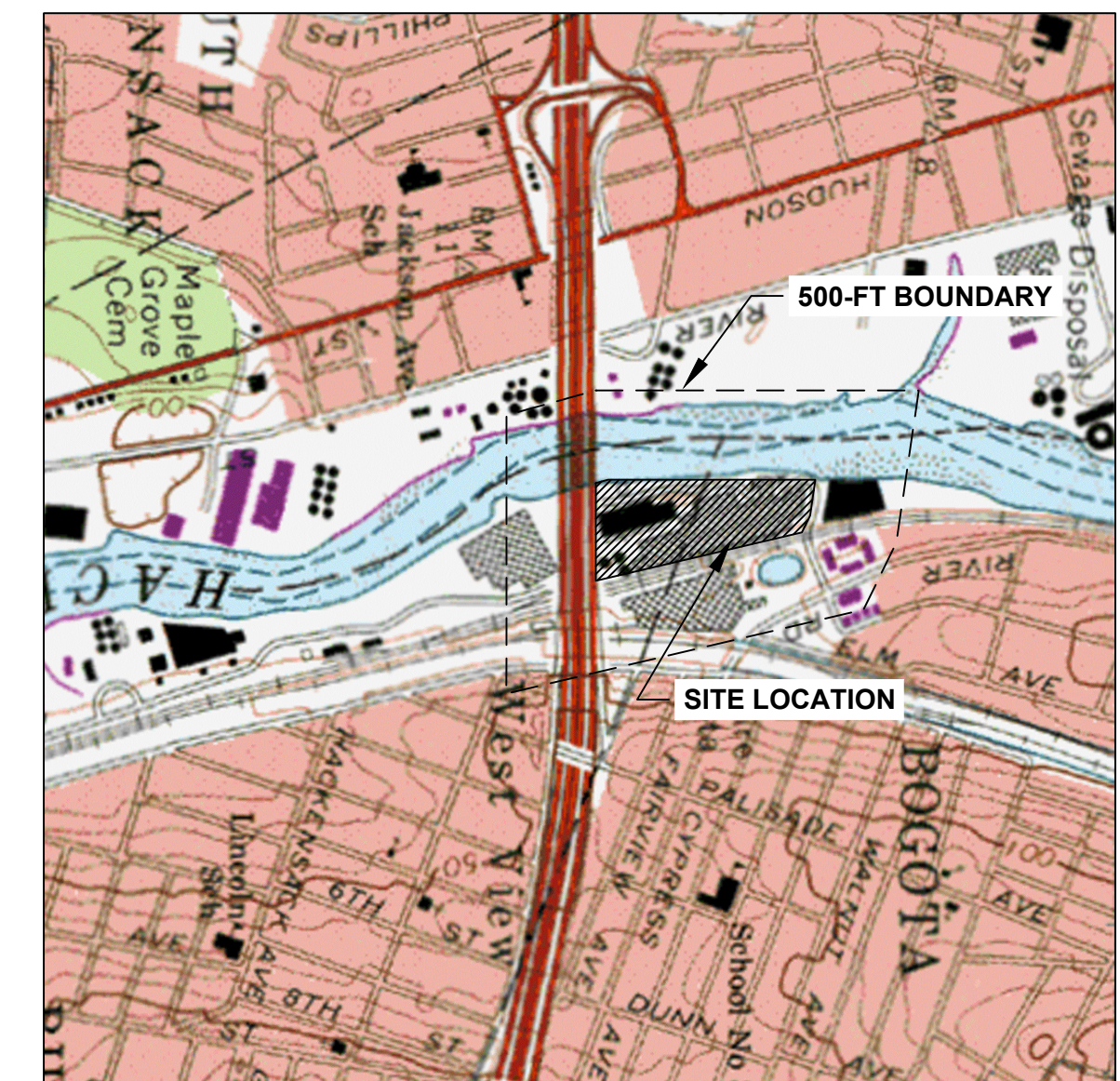


TAX MAP VILLAGE OF RIDGEFIELD PARK

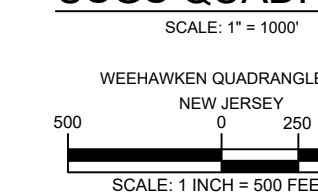


ZONE MAP - VILLAGE OF RIDGEFIELD PARK
I-3 LIGHT INDUSTRIAL/COMMERCIAL
RECREATION ZONE

MAP PREPARED BY: VILLAGE OF RIDGEFIELD PARK BERGEN COUNTY NJ
LAST REVISED: JANUARY 24, 2005



USGS QUAD MAP



SHEET INDEX			
SHEET NUMBER	DRAWING NUMBER	DRAWING TITLE	LAST REVISED
1	CS001	COVER SHEET	
2	CS002	GENERAL INFORMATION SHEET	
3	DM101	DEMOLITION PLAN	
4	CS101	SITE PLAN	
5	CG101	GRADING AND DRAINAGE PLAN	
6	CG201	DRAINAGE PROFILES	
7	CU101	UTILITY PLAN	
8	CU201	SANITARY SEWER PROFILE	
9	LL101	LIGHTING PLAN	
10	LL501	LIGHTING NOTES AND DETAILS	
11	LP101	LANDSCAPE PLAN	
12	LP501	LANDSCAPE NOTES AND DETAILS	
13	CE101	SOIL EROSION & SEDIMENT CONTROL PLAN	
14	CE501	SOIL EROSION & SEDIMENT CONTROL PLAN	
15	CS501	CONSTRUCTION DETAILS 1	
16	CS502	CONSTRUCTION DETAILS 2	
17	CS503	CONSTRUCTION DETAILS 3	
18	CS504	CONSTRUCTION DETAILS 4	
19	CS505	CONSTRUCTION DETAILS 5	

THIS PLAN IS HERBY APPROVED BY THE VILLAGE OF RIDGEFIELD PARK PLANNING BOARD

SIGNATURE CHAIRMAN DATE

SIGNATURE SECRETARY DATE

SIGNATURE ENGINEER DATE

THIS PLAN IS HERBY APPROVED BY THE BOROUGH OF BOGOTA PLANNING BOARD

SIGNATURE CHAIRMAN DATE

SIGNATURE SECRETARY DATE

SIGNATURE ENGINEER DATE

Date	Description	No.
3/11/2021	KEVIN WEBB PROFESSIONAL ENGINEER NJ Lic. No. 24GE04075100	

Kevin Webb
3/11/2021
KEVIN WEBB
PROFESSIONAL ENGINEER
NJ Lic. No. 24GE04075100

LANGAN
Langan Engineering and Environmental Services, Inc.
989 Lenox Drive, Suite 124
Lawrenceville, NJ 08648

T: 609.282.8000 F: 609.282.8001 www.langan.com
NJ CERTIFICATE OF AUTHORIZATION No. 24GA2796400

Project
30 CROSS STREET
BLOCK 113 / LOTS 7, 7.01, 7.02, 7.03, 8, 8.01, 8.02 (BOGOTA)
BLOCK 152.01 / LOTS 1, 1.01, 2 (RIDGEFIELD PARK)
BOROUGH OF BOGOTA / VILLAGE OF RIDGEFIELD PARK
BERGEN COUNTY NEW JERSEY

Drawing Title
COVER SHEET

Project No.
130148001

Date
03/03/2021

Drawn By
HYL

Checked By
KW

Drawing No.
CS001

Sheet 1 of 19

GENERAL NOTES AND PLAN REFERENCES:

- INFORMATION PERTAINING TO EXISTING PROPERTY BOUNDARY, TOPOGRAPHY, AND LOCATION OF EXISTING IMPROVEMENTS FOR THE SUBJECT PROPERTY IS BASED ON A PLAN TITLED, "BOUNDARY & TOPOGRAPHIC SURVEY, RIVER ROCK EQUITIES, INC.," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED JULY 15, 2012, LAST REVISED FEBRUARY 1, 2021.
- THE RECORD SURVEY IS REFERENCED TO THE NEW JERSEY STATE PLAN COORDINATE SYSTEM NAD 1983.
- ELEVATIONS SHOWN ARE REFERENCED TO NGVD 1929 NAVD 1988 DATUM IS 1.01 FEET LOWER THAN NGVD 1929.

CONSTRUCTION NOTES:

- ALL MATERIALS, METHODS OF CONSTRUCTION AND CONSTRUCTION DETAILS SHALL CONFORM TO APPLICABLE STANDARDS OF LOCAL MUNICIPALITY, COUNTY, STATE, MUNICIPAL UTILITIES AUTHORITY AND UTILITY COMPANIES. IN CASE OF CONFLICT, THE STANDARDS OF THE ADMINISTRATIVE AUTHORITY HAVING JURISDICTION THEREOF SHALL GOVERN. THE CONTRACTOR SHALL PROVIDE THE MUNICIPAL ENGINEER WITH SHOP DRAWINGS FOR ALL ITEMS UNDER HIS JURISDICTION FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- THE MUNICIPAL ENGINEER'S OFFICE SHALL BE NOTIFIED AT LEAST 72 HOURS BEFORE THE START OF WORK ON ANY IMPROVEMENTS UNDER ITS JURISDICTION.
- ALL DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS OF THE LOCAL SOIL CONSERVATION DISTRICT.
- PROPOSED GROUND SLOPES SHALL NOT EXCEED 3:1, EXCEPT WHERE NOTED ON PLAN.
- EXCAVATED MATERIAL USED FOR EMBANKMENTS SHALL CONFORM TO THE STANDARDS OF SECTION 203 OF THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- FILL MATERIAL SHALL BE PLACED IN SIX (6) INCH LIFTS AND THOROUGHLY COMPACTED IN ACCORDANCE WITH SECTION 204 OF THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH THE OWNER'S GEOTECHNICAL ENGINEER AND INDEPENDENT TESTING AGENCY DURING CONSTRUCTION. REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- BORROW FILL, IF REQUIRED, SHALL BE IN CONFORMANCE WITH SECTION 204 OF THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- WHERE NEW PAVEMENT IS PROPOSED ADJACENT TO EXISTING PAVEMENT, THE EXISTING PAVEMENT SHALL BE CUT ONE (1) FOOT FROM THE EDGE TO PROVIDE A NEAT LINE AGAINST WHICH TO PAVE.
- ALL OPEN EXCAVATIONS SHALL CONFORM TO ALL APPLICABLE STANDARDS. TRENCH OPENINGS SHALL NOT REMAIN OPEN OVERNIGHT.
- ALL ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION AND OTHER PUBLIC UTILITY LINES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH UTILITY COMPANY DETAILS. MINIMUM HORIZONTAL CLEARANCE BETWEEN PUBLIC UTILITY LINES AND WATER OR SEWER MAINS SHALL BE THREE (3) FEET.
- THE LOCATIONS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR MUST VERIFY THE EXACT LOCATIONS OF ALL EXISTING UTILITY LINES, INCLUDING THOSE THAT ARE CUSTOMER OWNED. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AND OTHER INTERESTED PARTIES BEFORE THE START OF WORK ON ANY IMPROVEMENTS UNDER THEIR RESPECTIVE JURISDICTION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING TEST PITS AS REQUIRED BY THE DESIGN ENGINEER OR AS DEEMED NECESSARY TO ACCURATELY LOCATE, BOTH HORIZONTALLY AND VERTICALLY, ALL UTILITIES AFFECTED BY THE PROPOSED CONSTRUCTION.

THE CONTRACTOR MUST NOTIFY THE DESIGN ENGINEER OF ANY CONDITIONS OR CONFLICTS THAT WOULD ALTER THE INTENT OF THE DESIGN AS SHOWN.
- DURING CONSTRUCTION, ALL EXISTING OVERHEAD AND UNDERGROUND UTILITY LINES MUST BE PROTECTED, MAINTAINED AND KEPT OPERATIONAL BY THE CONTRACTOR IN ACCORDANCE WITH STANDARDS OF THE ADMINISTRATIVE AUTHORITY HAVING JURISDICTION THEREOF. THE CONTRACTOR SHALL SUPPORT UTILITY POLES LOCATED ADJACENT TO EXCAVATED AREAS UNTIL THE AREAS ARE BACKFILLED AND STABILIZED.
- ALL CONCRETE USED SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI, UNLESS OTHERWISE NOTED.
- ALL STORM SEWER PIPING SHALL BE REINFORCED CONCRETE PIPE, CLASS III WITH BELL AND SPIGOT JOINTS UNLESS OTHERWISE NOTED. CIRCULAR REINFORCED CONCRETE PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF ASTM C76. ALL JOINTS ARE TO BE SEALED WITH EITHER RUBBER GASKETS OR BUTYL TAPE AND BE WRAPPED WITH MORTAR AND FABRIC ON THE OUTSIDE. IF RUBBER GASKETS ARE USED FOR CIRCULAR PIPE, THE JOINT DESIGN AND JOINT MATERIAL SHALL CONFORM TO ASTM C443. ALL 36-INCH AND LARGER PIPES SHALL HAVE THE INSIDE JOINTS MORTARED. MORTAR JOINTS SHALL CONFORM TO SECTIONS 601.03 AND 903.08 OF THE CURRENT NEW JERSEY DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION.

WHERE PROPOSED, CORRUGATED HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL HAVE A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS IN ACCORDANCE WITH AASHTO M294-97. GASKETS FOR HDPE SHALL MEET THE REQUIREMENTS OF ASTM F477 WITH THE ADDITION THAT THE GASKETS SHALL NOT HAVE ANY VISIBLE CRACKING WHEN TESTED ACCORDING TO ASTM D1149 AFTER 72 HOURS OF EXPOSURE IN 50 PPHM OZONE AT 104 DEGREES FARENHEIT. INSTALLATION OF HDPE SHALL BE IN ACCORDANCE WITH ASTM D2321 WITH THE EXCEPTION THAT MINIMUM COVER IN TRAFFICKED AREAS SHALL BE ONE FOOT BELOW THE BOTTOM OF THE ASPHALT.

ALL INLETS IN CURBED AREAS SHALL BE TYPE "B" WITH WATER QUALITY TYPE SIX (6) INCH CURB PIECES. ALL INLETS SHALL BE PROVIDED WITH GRATES CLASSIFIED AS "BICYCLE SAFE". ALL CASTINGS SHALL BE OF AMERICAN MANUFACTURE.
- ALL WATER MAIN PIPING SHALL BE DOUBLE CEMENT-LINED DUCTILE IRON PIPE CONFORMING TO ANSI A21.51 (AWWA C151) CLASS 52 WITH EITHER MECHANICAL OR PUSH-ON JOINTS, UNLESS OTHERWISE SPECIFIED. "MEGA-LUG" RESTRAINT GLANDS (OR APPROVED EQUAL) MUST BE INSTALLED ON ALL FITTINGS HAVING MECHANICAL JOINTS.

MINIMUM COVER OVER WATER MAINS AND WATER SERVICE PIPING SHALL BE FOUR (4) FEET.

THRUST BLOCKS SHALL BE INSTALLED AT ALL TEES, BENDS, PLUGS, REDUCERS, HYDRANT CONNECTIONS AND ANYWHERE ELSE REQUIRED BY THE LOCAL WATER COMPANY OR AGENCY HAVING JURISDICTION THEREOF. THE RODS MUST BE INSTALLED WITH ALL FIRE HYDRANT ASSEMBLIES.

ALL WATER MAINS AND ASSOCIATED FITTINGS MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL WATER COMPANY OR AGENCY HAVING JURISDICTION THEREOF.
- ALL GRAVITY SANITARY SEWER MAIN AND LATERALS SHALL BE PVC PIPE, SDR-35 CONFORMING TO ASTM D3034 WITH PUSH-ON JOINTS, UNLESS OTHERWISE SPECIFIED.

MINIMUM COVER OVER PVC SANITARY SEWER MAINS AND LATERALS SHALL BE THREE (3) FEET. MINIMUM COVER OVER DUCTILE IRON SANITARY SEWER MAINS AND LATERALS SHALL BE THIRTY (30) INCHES.
- SANITARY SEWER PIPING AND POTABLE WATER PIPING SHALL BE SEPARATED BY A MINIMUM OF TEN (10) FEET HORIZONTALLY AND/OR EIGHTEEN (18) INCHES VERTICALLY, PLACED IN SEPARATE TRENCHES. WHERE THESE MINIMUM SEPARATION DISTANCES CANNOT BE MET, ENCASE THE SANITARY SEWER IN CONCRETE FOR A DISTANCE OF TEN (10) FEET EACH SIDE OF THE WATER MAIN. DUCTILE IRON PIPE WITH SLIP-ON JOINTS MAY BE SUBSTITUTED FOR THE CONCRETE ENCASEMENT. IN NO CASE SHALL THE VERTICAL CLEARANCE BETWEEN POTABLE WATER AND SANITARY SEWER MAINS BE LESS THAN ONE (1) FOOT.
- THE MINIMUM VERTICAL CLEARANCE BETWEEN PVC SEWER MAINS AND STORM SEWER PIPE AT CROSSINGS ABOVE SHALL BE ONE (1) FOOT. PROVIDE CONCRETE ENCASEMENT WHEN THE VERTICAL CLEARANCE IS LESS THAN EIGHTEEN (18) INCHES.

THE MINIMUM VERTICAL CLEARANCE BETWEEN DUCTILE IRON SEWER OR WATER MAINS AND STORM SEWER PIPE CROSSINGS ABOVE SHALL BE SIX (6) INCHES. PROVIDE CONCRETE ENCASEMENT WHEN THE VERTICAL CLEARANCE IS LESS THAN ONE (1) FOOT.
- EXISTING SANITARY SEWER PIPE, MANHOLES, ETC. TO BE ABANDONED SHALL BE REMOVED.
- THE LOCATION OF ALL PROPOSED FIRE HYDRANTS SHALL BE APPROVED BY THE ADMINISTRATIVE AUTHORITY HAVING JURISDICTION THEREOF. ALL EXISTING FIRE HYDRANTS SHALL BE TESTED PRIOR TO CONSTRUCTION.
- TRAFFIC STRIPES AND MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF SECTION 610 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2007 EDITION, AS PUBLISHED BY THE NEW JERSEY DEPARTMENT OF TRANSPORTATION.

TRAFFIC CONTROL SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, CURRENT EDITION, AS PUBLISHED BY THE US DEPARTMENT OF TRANSPORTATION.
- THE PROPOSED DEVELOPMENT HAS BEEN DESIGNED TO BE COMPLIANT WITH APPLICABLE ADA REGULATIONS. THE PROPOSED PEDESTRIAN CROSSWALKS ARE IN ACCORDANCE WITH ADA REGULATIONS AND SHALL NOT HAVE JOINTS THAT PROTRUDE GREATER THAN 1/2 INCH.
- THE OWNER OR HIS REPRESENTATIVE IS TO DESIGNATE AN OSHA-COMPETENT INDIVIDUAL TO BE RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF THE CONSTRUCTION OF SITE IMPROVEMENTS PURSUANT TO NJAC 5:23-2.21(e) OF THE NEW JERSEY CONSTRUCTION CODE AND CFR 1926.32(f).
- ANY RETAINING WALLS 48 INCHES OR GREATER IN HEIGHT SHALL REQUIRE A BUILDING PERMIT. DESIGN CALCULATIONS FOR PROPOSED RETAINING WALLS SHALL BE SUBMITTED BY THE CONTRACTOR TO THE BOROUGH ENGINEER AND CONSTRUCTION CODE OFFICIAL FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- TO THE EXTENT PRACTICABLE, NO TOPSOIL SHALL BE REMOVED FROM THE SITE OR USED AS SPOIL. TOPSOIL STRIPPED AND STOCKPILED DURING THE COURSE OF CONSTRUCTION SHALL BE REDISTRIBUTED SO AS TO PROVIDE EQUAL COVER TO ALL AREAS OF THE SITE AND SHALL BE STABILIZED BY SEEDING OR PLANTING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING A PRECONSTRUCTION MEETING WITH EACH OF THE UTILITY COMPANIES, INCLUDING THE OWNER, ARCHITECT, AND ENGINEERS TO ENSURE ALL PROJECT SPECIFIC REQUIREMENTS ARE MET. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES DURING CONSTRUCTION, INCLUSIVE OF ALL REQUIRED INSPECTIONS.

Zoning Table - Borough of Bogota				
Zone: South End Redevelopment Plan Overlay of the PD-1 Planned Development District				
Bulk Requirements	Required	Existing	Proposed (Existing Lot Line)	Complies
Proposed Use	As listed in the Bogota South End Redevelopment Plan	Commercial Recreation	Warehouse /Distribution Light Manufacturing and Assembly	Yes
Min. Lot Area	2 AC	6.0 AC	6.0 AC	Yes
Min. Lot Width	200 FT	763 FT ±	763 FT ±	Yes
Min. Lot Depth	200 FT	360 FT ±	360 FT ±	Yes
Min. Front Yard ^[1]	50 FT	22.7 FT	60.2 FT (TO EXST. LOT LINE) 10.9 FT (TO PROP. R.O.W.)	Yes
Min. Side Yard	40 FT	198 FT	47.0 FT	Yes
Min. Rear Yard	40 FT	77.8 FT	84 FT	Yes
Max. Building Height ^[2]	4 Stories / 50 FT	< 40 FT	1 Sty/≤50 FT	Yes
Max. Building Coverage	40%	17.8%	34.1%	Yes
Max. Impervious Coverage	85%	51.5%	72.3%	Yes
Floor Area Ratio	0.4	0.18	0.34	Yes

^[1] According to Section 4.B.5 of the South End Redevelopment plan, compliance with bulk regulations shall be determined on lot sizes and dimensions as they exist at the time the redevelopment plan is adopted.
^[2] Building height is defined as the vertical distance measured from the average elevation of the finished grade along the front of the building to the highest elevation of the roof surface.


Off-Street Parking Standards	Required	Provided	Complies
Office: 1 space / 250 SF GFA	5,500 SF	22 spaces	Yes
Warehousing and Distribution: 1 space/ 2,500 SF GFA for Areas 60,000 GFA or greater	83,600 SF	34 spaces	
Total required for Warehouse/Distribution Use		56 spaces	
Office: 1 space / 250 SF GFA	5,500 SF	22 spaces	
Light Manufacturing and Assembly: 1 space/ 800 SF GFA	83,600 SF	105 spaces	154 spaces
Total required for Light Manufacturing and Assembly Use		127 spaces	

Signage			
Bulk Regulations	Requirements	Proposed	Complies
Freestanding Signs in South End Redevelopment Plan Overlay of the PD-1 Planned Development District			
Max. Number of Freestanding Signs	1 / Building	1	Yes
Max. Height	20 FT	8 FT	Yes
Max. Size of Sign Face	50 SF / Side	≤50 SF/Side	Yes
Min. Setback ^[1]	10 FT from the front street property line	47.1 FT	Yes
Facade Signs in South End Redevelopment Plan Overlay of the PD-1 Planned Development District			
Max. Number of Façade Signs	1 sign per Building tenant on front façade of building and 1 additional sign per building tenant for building whose entranceway faces an off-street parking area	1 sign per tenant on front façade and 1 sign per tenant on entranceway façade	Yes
Max. Sign Area	≤10% of the area of the wall area	(2 signs ^[2] x 125 SF) / (371 FT x 41 FT) = 1.6% (East Façade) (2 signs x 125 SF) / (190 FT x 41 FT) = 3.2% (North Façade)	Yes
Max. Sign Height	Height: 5 FT	5 FT	Yes
Max. Sign Width	<90% Building Wall width	(2 signs x 25 FT) / 371 FT = 13.5% (East Façade) (2 signs x 25 FT) / 190 FT = 26.3% (North Façade)	Yes

^[1] According to Section 4.B.5 of the South End Redevelopment plan, compliance with bulk regulations shall be determined on lot sizes and dimensions as they exist at the time the redevelopment plan is adopted.
^[2] A second set of façade signs are proposed in the event the building contains 2 tenants.

Date	Description	No.
REVISIONS		

3/11/2021

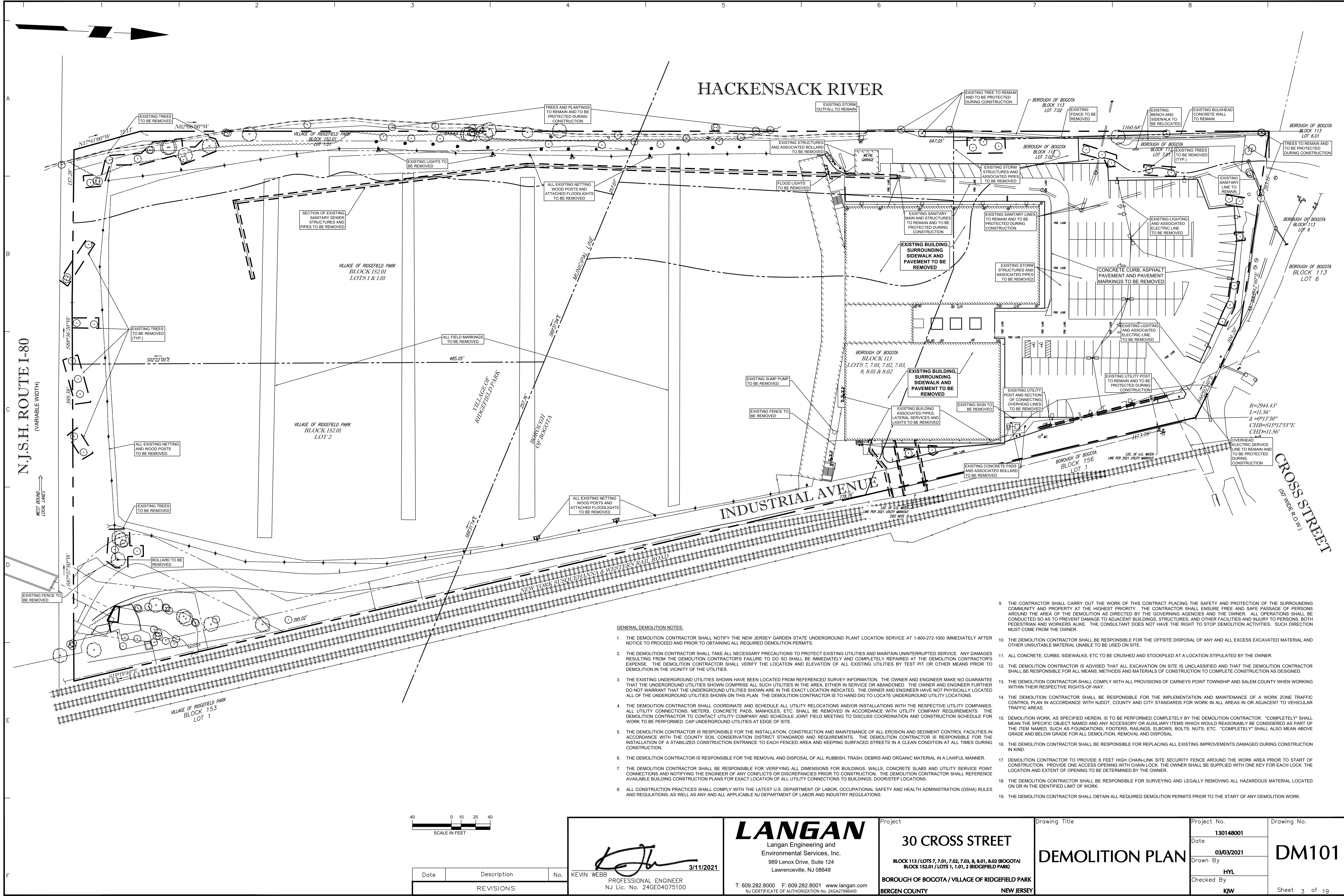

 KEVIN WEBB
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 NJ CERTIFICATE OF AUTHORIZATION NO. 24GA27896400

Project
30 CROSS STREET
 BLOCK 113 / LOTS 7, 7.01, 7.02, 7.03, 8, 8.01, 8.02 (BOGOTA)
 BLOCK 152.01 / LOTS 1, 1.01, 2 (RIDGEFIELD PARK)
 BOROUGH OF BOGOTA / VILLAGE OF RIDGEFIELD PARK
 BERGEN COUNTY NEW JERSEY

Drawing Title
GENERAL INFORMATION SHEET

Project No. 130148001	CS002
Date 03/03/2021	
Drawn By HYL	
Checked By KW	
Sheet 2 of 19	



N.J.S.H. ROUTE I-80
(VARIABLE WIDTH)

HACKENSACK RIVER

INDUSTRIAL AVENUE

CROSS STREET
(60' WIDE P.O.W.)

GENERAL DEMOLITION NOTES:

- THE DEMOLITION CONTRACTOR SHALL NOTIFY THE NEW JERSEY GARDEN STATE UNDERGROUND PLANT LOCATION SERVICE AT 1-800-272-1000 IMMEDIATELY AFTER NOTICE TO PROCEED AND PRIOR TO OBTAINING ALL REQUIRED DEMOLITION PERMITS.
- THE DEMOLITION CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGES RESULTING FROM THE DEMOLITION CONTRACTOR'S FAILURE TO DO SO SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE DEMOLITION CONTRACTOR'S EXPENSE. THE DEMOLITION CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY TEST PIT OR OTHER MEANS PRIOR TO DEMOLITION IN THE VICINITY OF THE UTILITIES.
- THE EXISTING UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM REFERENCED SURVEY INFORMATION. THE OWNER AND ENGINEER MAKE NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE OWNER AND ENGINEER FURTHER DO NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE OWNER AND ENGINEER HAVE NOT PHYSICALLY LOCATED ALL OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN. THE DEMOLITION CONTRACTOR IS TO HAND DIG TO LOCATE UNDERGROUND UTILITY LOCATIONS.
- THE DEMOLITION CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL UTILITY RELOCATIONS AND/OR INSTALLATIONS WITH THE RESPECTIVE UTILITY COMPANIES. ALL UTILITY CONNECTIONS, METERS, CONCRETE PADS, MANHOLES, ETC. SHALL BE REMOVED IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS. THE DEMOLITION CONTRACTOR TO CONTACT UTILITY COMPANY AND SCHEDULE JOINT FIELD MEETING TO DISCUSS COORDINATION AND CONSTRUCTION SCHEDULE FOR WORK TO BE PERFORMED. CAP UNDERGROUND UTILITIES AT EDGE OF SITE.
- THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION, CONSTRUCTION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL FACILITIES IN ACCORDANCE WITH THE COUNTY SOIL CONSERVATION DISTRICT STANDARDS AND REQUIREMENTS. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF A STABILIZED CONSTRUCTION ENTRANCE TO EACH FENCED AREA AND KEEPING SURFACED STREETS IN A CLEAN CONDITION AT ALL TIMES DURING CONSTRUCTION.
- THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS AND ORGANIC MATERIAL IN A LAWFUL MANNER.
- THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS FOR BUILDINGS, WALLS, CONCRETE SLABS AND UTILITY SERVICE POINT CONNECTIONS AND NOTIFYING THE ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION. THE DEMOLITION CONTRACTOR SHALL REFERENCE AVAILABLE BUILDING CONSTRUCTION PLANS FOR EXACT LOCATION OF ALL UTILITY CONNECTIONS TO BUILDINGS, DOORSTEP LOCATIONS.
- ALL CONSTRUCTION PRACTICES SHALL COMPLY WITH THE LATEST U.S. DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS, AS WELL AS ANY AND ALL APPLICABLE NJ DEPARTMENT OF LABOR AND INDUSTRY REGULATIONS.
- THE CONTRACTOR SHALL CARRY OUT THE WORK OF THIS CONTRACT PLACING THE SAFETY AND PROTECTION OF THE SURROUNDING COMMUNITY AND PROPERTY AT THE HIGHEST PRIORITY. THE CONTRACTOR SHALL ENSURE FREE AND SAFE PASSAGE OF PERSONS AROUND THE AREA OF THE DEMOLITION AS DIRECTED BY THE GOVERNING AGENCIES AND THE OWNER. ALL OPERATIONS SHALL BE CONDUCTED SO AS TO PREVENT DAMAGE TO ADJACENT BUILDINGS, STRUCTURES, AND OTHER FACILITIES AND INJURY TO PERSONS, BOTH PEDESTRIAN AND WORKERS ALIKE. THE CONSULTANT DOES NOT HAVE THE RIGHT TO STOP DEMOLITION ACTIVITIES. SUCH DIRECTION MUST COME FROM THE OWNER.
- THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFFSITE DISPOSAL OF ANY AND ALL EXCESS EXCAVATED MATERIAL AND OTHER UNSUITABLE MATERIAL UNABLE TO BE USED ON SITE.
- ALL CONCRETE, CURBS, SIDEWALKS, ETC TO BE CRUSHED AND STOCKPILED AT A LOCATION STIPULATED BY THE OWNER.
- THE DEMOLITION CONTRACTOR IS ADVISED THAT ALL EXCAVATION ON SITE IS UNCLASSIFIED AND THAT THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS AND MATERIALS OF CONSTRUCTION TO COMPLETE CONSTRUCTION AS DESIGNED.
- THE DEMOLITION CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS OF CARNEYS POINT TOWNSHIP AND SALEM COUNTY WHEN WORKING WITHIN THEIR RESPECTIVE RIGHTS-OF-WAY.
- THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF A WORK ZONE TRAFFIC CONTROL PLAN IN ACCORDANCE WITH NJDOT, COUNTY AND CITY STANDARDS FOR WORK IN ALL AREAS IN OR ADJACENT TO VEHICULAR TRAFFIC AREAS.
- DEMOLITION WORK, AS SPECIFIED HEREIN, IS TO BE PERFORMED COMPLETELY BY THE DEMOLITION CONTRACTOR. "COMPLETELY" SHALL MEAN THE SPECIFIC OBJECT NAMED AND ANY ACCESSORY OR AUXILIARY ITEMS WHICH WOULD REASONABLY BE CONSIDERED AS PART OF THE ITEM NAMED, SUCH AS FOUNDATIONS, FOOTERS, RAILINGS, ELBOWS, BOLTS, NUTS, ETC. "COMPLETELY" SHALL ALSO MEAN ABOVE GRADE AND BELOW GRADE FOR ALL DEMOLITION, REMOVAL AND DISPOSAL.
- THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ALL EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION IN KIND.
- DEMOLITION CONTRACTOR TO PROVIDE 8 FEET HIGH CHAIN-LINK SITE SECURITY FENCE AROUND THE WORK AREA PRIOR TO START OF CONSTRUCTION. PROVIDE ONE ACCESS OPENING WITH CHAIN LOCK. THE OWNER SHALL BE SUPPLIED WITH ONE KEY FOR EACH LOCK. THE LOCATION AND EXTENT OF OPENING TO BE DETERMINED BY THE OWNER.
- THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEYING AND LEGALLY REMOVING ALL HAZARDOUS MATERIAL LOCATED ON OR IN THE IDENTIFIED LIMIT OF WORK.
- THE DEMOLITION CONTRACTOR SHALL OBTAIN ALL REQUIRED DEMOLITION PERMITS PRIOR TO THE START OF ANY DEMOLITION WORK.



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NJ CERTIFICATE OF AUTHORIZATION NO. 24GA27896400

3/11/2021
KEVIN WEBB
PROFESSIONAL ENGINEER
NJ Lic. No. 24GE04075100

Project
30 CROSS STREET
BLOCK 113 / LOTS 7, 7.01, 7.02, 7.03, 8, 8.01, 8.02 (BOGOTA)
BLOCK 152.01 / LOTS 1, 1.01, 2 (RIDGEFIELD PARK)
BOROUGH OF BOGOTA / VILLAGE OF RIDGEFIELD PARK
BERGEN COUNTY NEW JERSEY

Drawing Title
DEMOLITION PLAN

Project No.
130148001

Date
03/03/2021

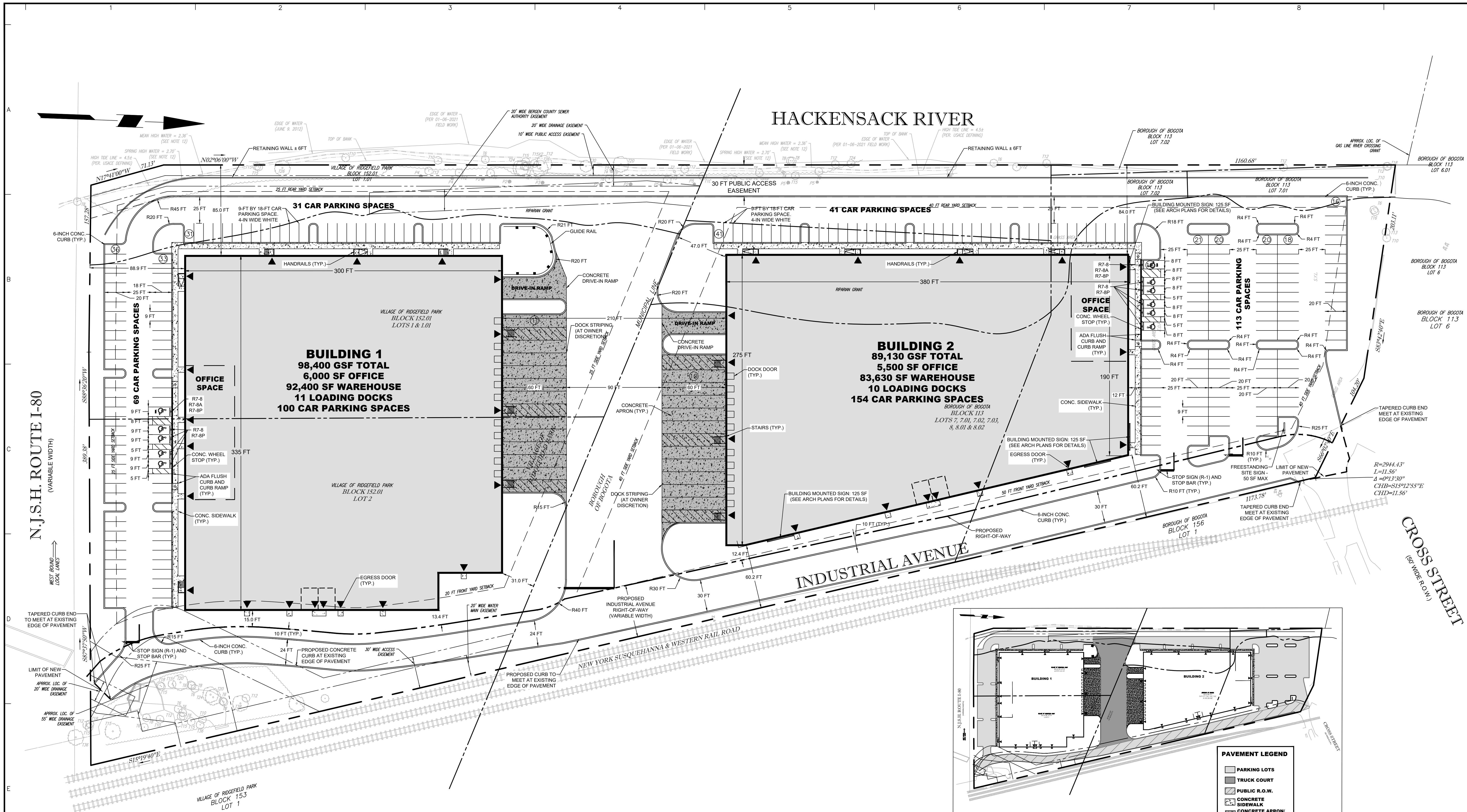
Drawn By
HYL

Checked By
KW

Drawing No.
DM101

Sheet 3 of 19

PROJECT NO. 130148001



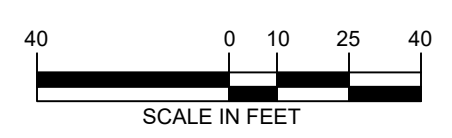
N.J.S.H. ROUTE I-80
(VARIABLE WIDTH)
WEST BOUND LOCAL LANES

CROSS STREET
(60' WIDE R.O.W.)

HACKENSACK RIVER

NOTES :

- OWNER: RIVER ROCK EQUITIES, INC.
650 FOUNTAIN AVENUE
BROOKLYN, NY 11208
- APPLICANT: HAMPSHIRE VENTURE PARTNERS, LLC.
22 MAPLE AVENUE
MORRISTOWN, NJ 07960
- 1. TOTAL PROJECT AREA = 11.72 AC.
- 2. IMPERVIOUS ARE COVERAGE ARE AS FOLLOW:
EXISTING IMPERVIOUS AREA= 142,595 SF
PROPOSED IMPERVIOUS AREA= 385,219 SF
NET IMPERVIOUS AREA = 242,624 SF



Date	Description	No.

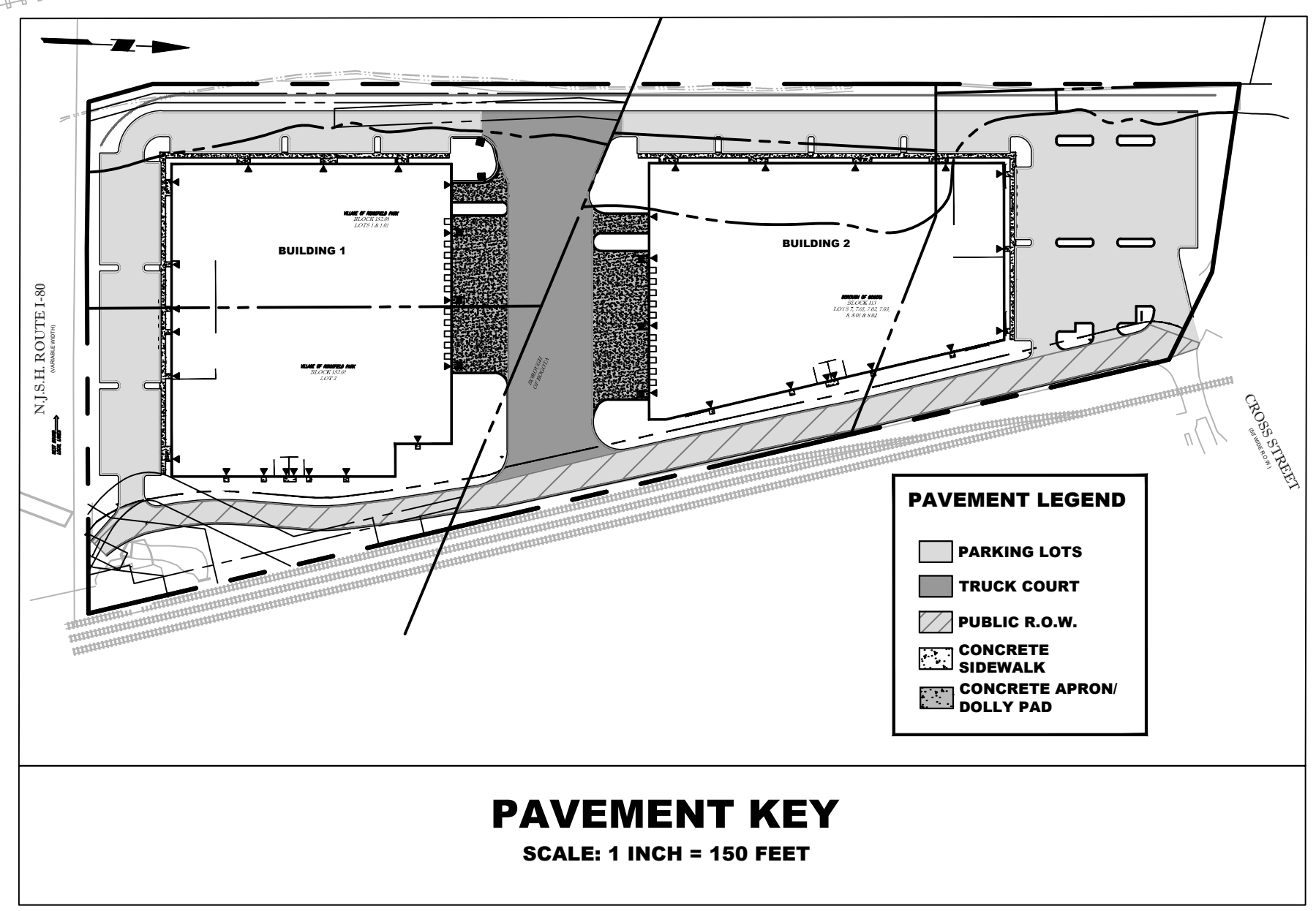
Kevin Webb
3/11/2021
KEVIN WEBB
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Project
30 CROSS STREET
BLOCK 113 / LOTS 7, 7.01, 7.02, 7.03, 8, 8.01, 8.02 (BOGOTA)
BLOCK 152.01 / LOTS 1, 1.01, 2 (RIDGEFIELD PARK)
BOROUGH OF BOGOTA / VILLAGE OF RIDGEFIELD PARK
BERGEN COUNTY NEW JERSEY

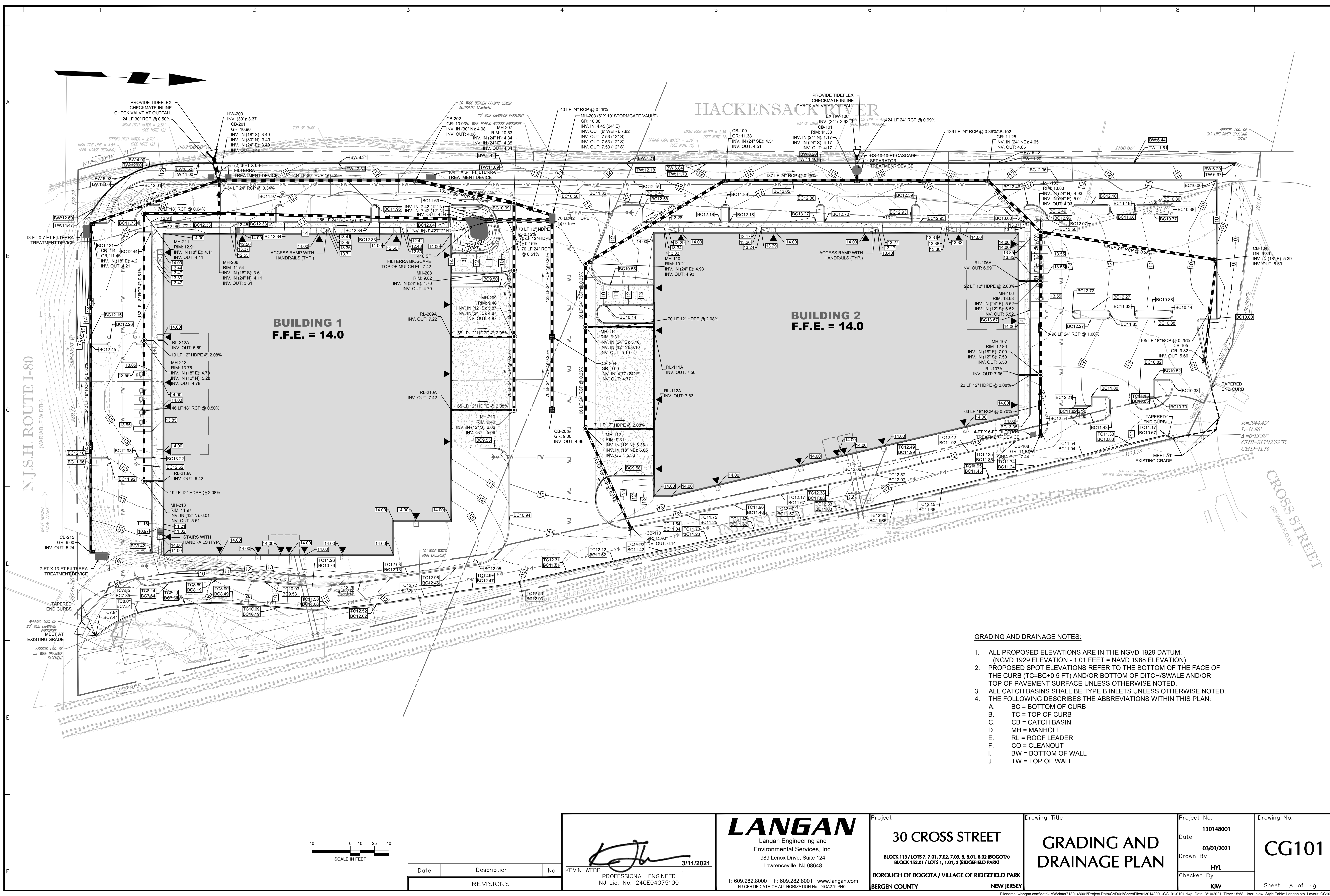
Drawing Title
SITE PLAN

Project No.
130148001
Date
03/03/2021
Drawn By
HYL
Checked By
KW
Drawing No.
CS101
Sheet 4 of 19

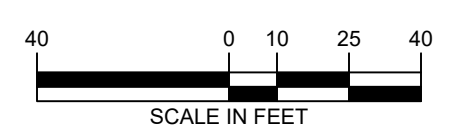


PAVEMENT KEY
SCALE: 1 INCH = 150 FEET

PROJECT NO. 130148001



- GRADING AND DRAINAGE NOTES:**
- ALL PROPOSED ELEVATIONS ARE IN THE NGVD 1929 DATUM. (NGVD 1929 ELEVATION - 1.01 FEET = NAVD 1988 ELEVATION)
 - PROPOSED SPOT ELEVATIONS REFER TO THE BOTTOM OF THE FACE OF THE CURB (TC=BC+0.5 FT) AND/OR BOTTOM OF DITCH/SWALE AND/OR TOP OF PAVEMENT SURFACE UNLESS OTHERWISE NOTED.
 - ALL CATCH BASINS SHALL BE TYPE B INLETS UNLESS OTHERWISE NOTED.
 - THE FOLLOWING DESCRIBES THE ABBREVIATIONS WITHIN THIS PLAN:
 - A. BC = BOTTOM OF CURB
 - B. TC = TOP OF CURB
 - C. CB = CATCH BASIN
 - D. MH = MANHOLE
 - E. RL = ROOF LEADER
 - F. CO = CLEANOUT
 - I. BW = BOTTOM OF WALL
 - J. TW = TOP OF WALL



Date	Description	No.
REVISIONS		


 3/11/2021
 KEVIN WEBB
 PROFESSIONAL ENGINEER
 NJ Lic. No. 24GE04075100

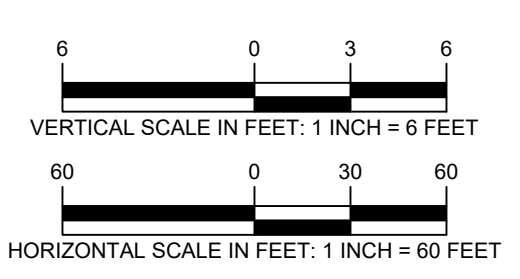
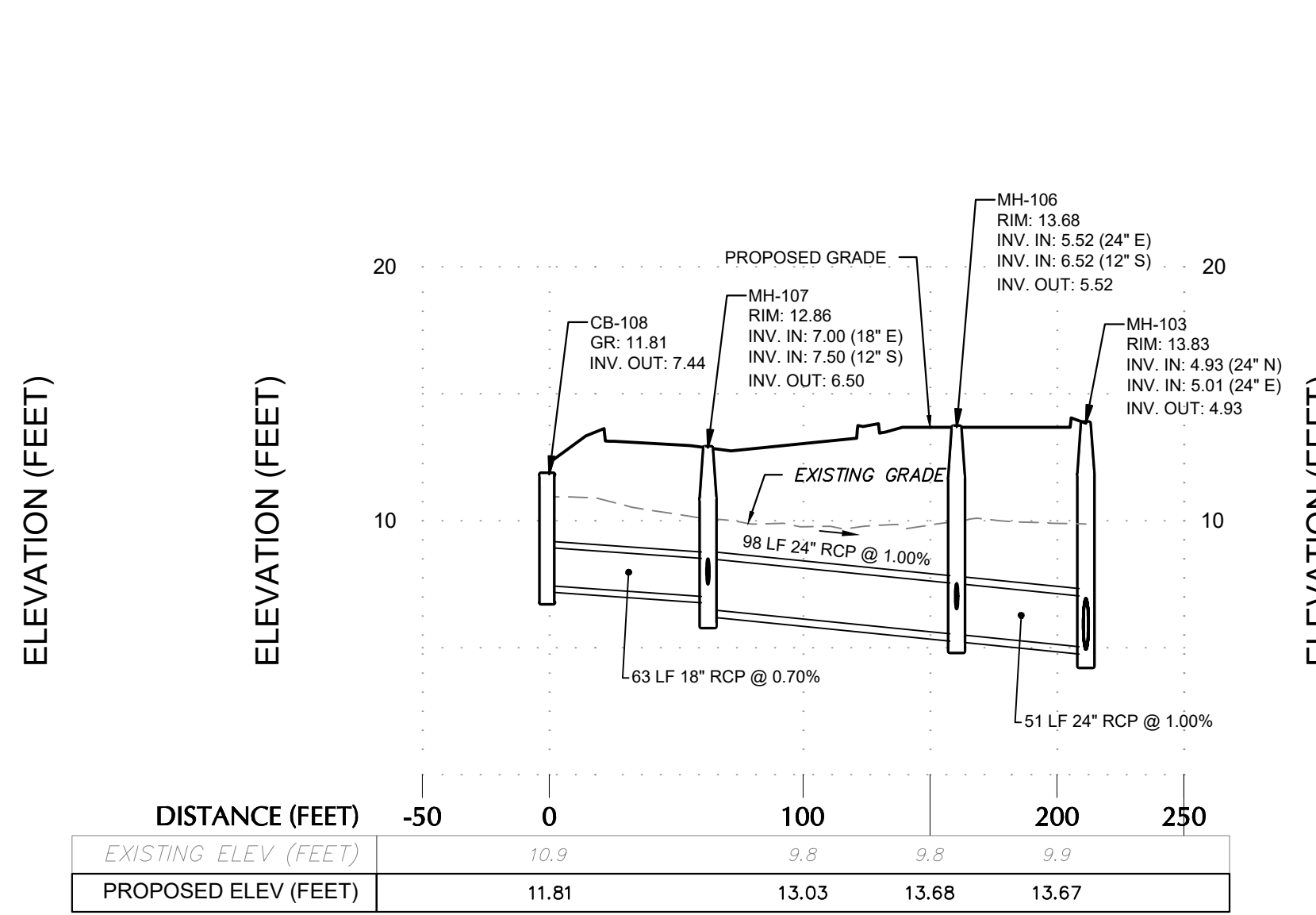
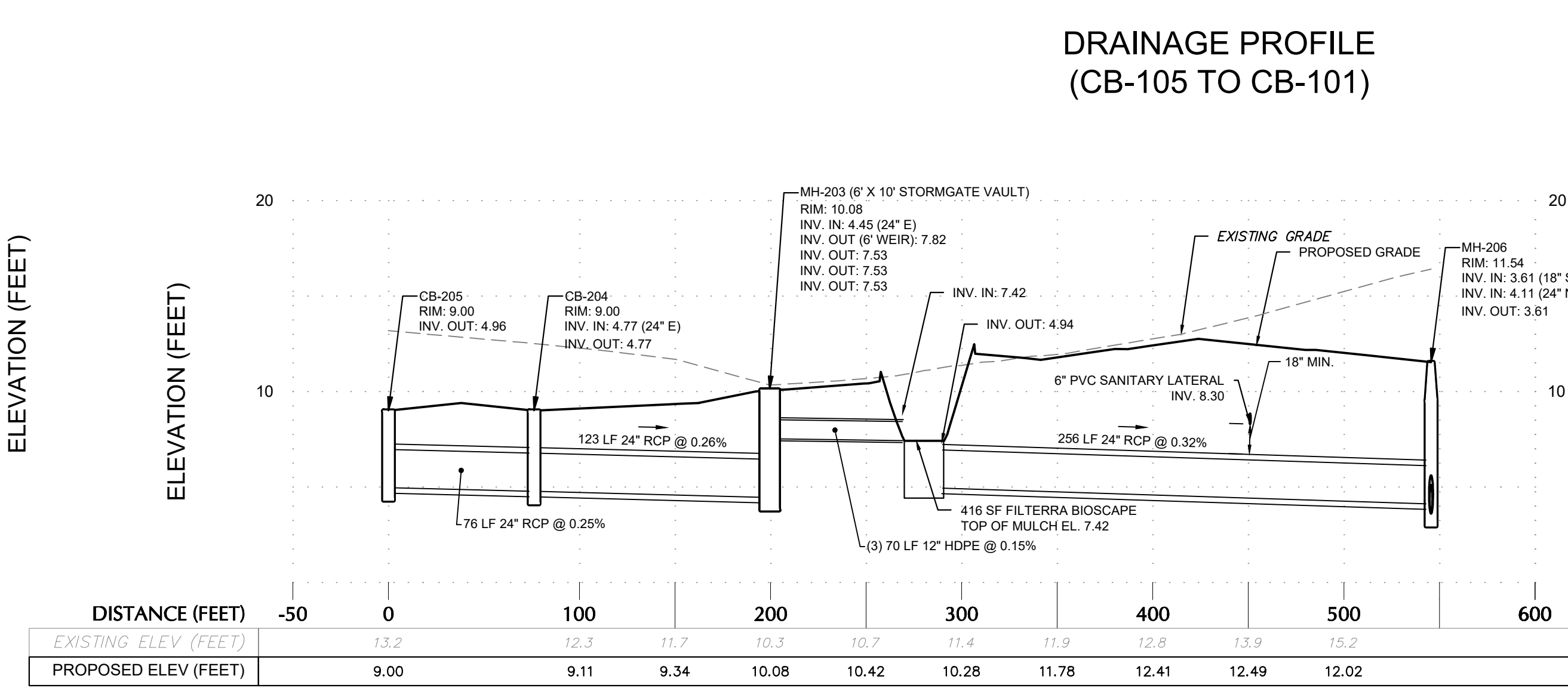
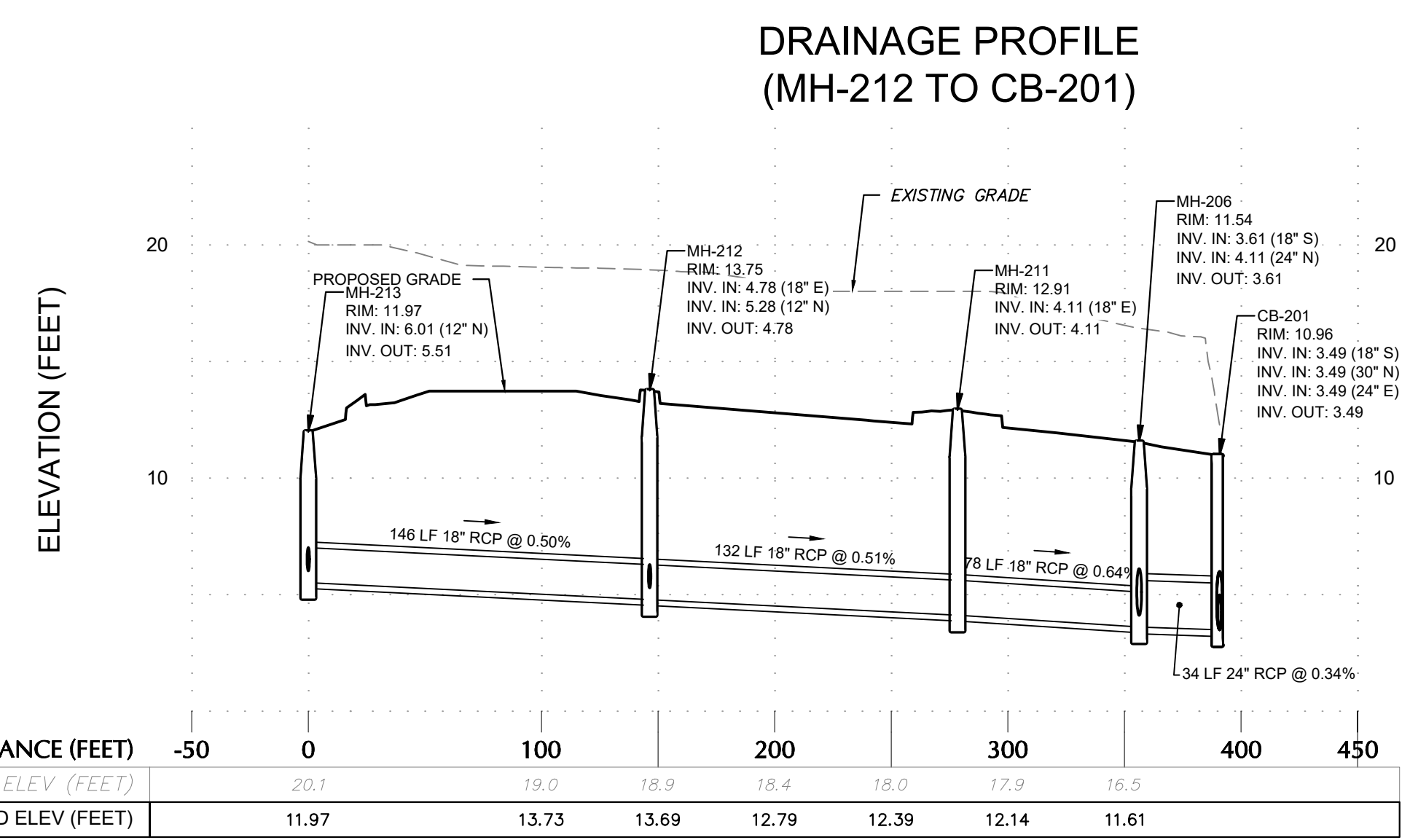
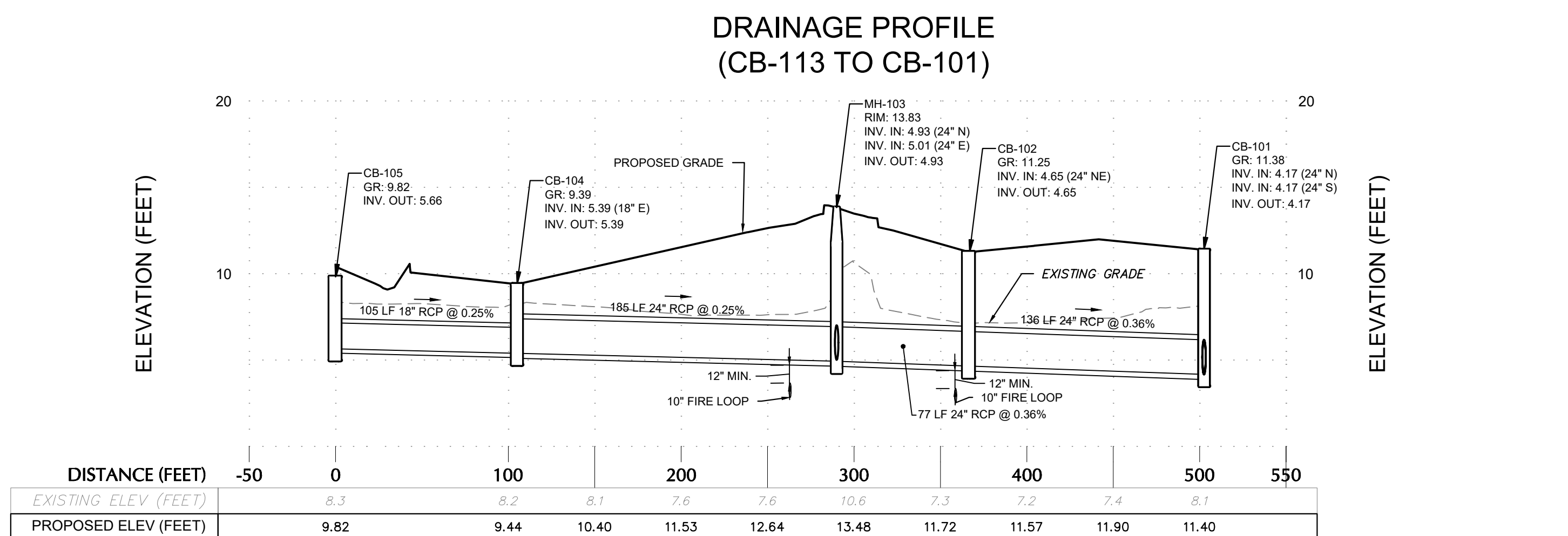
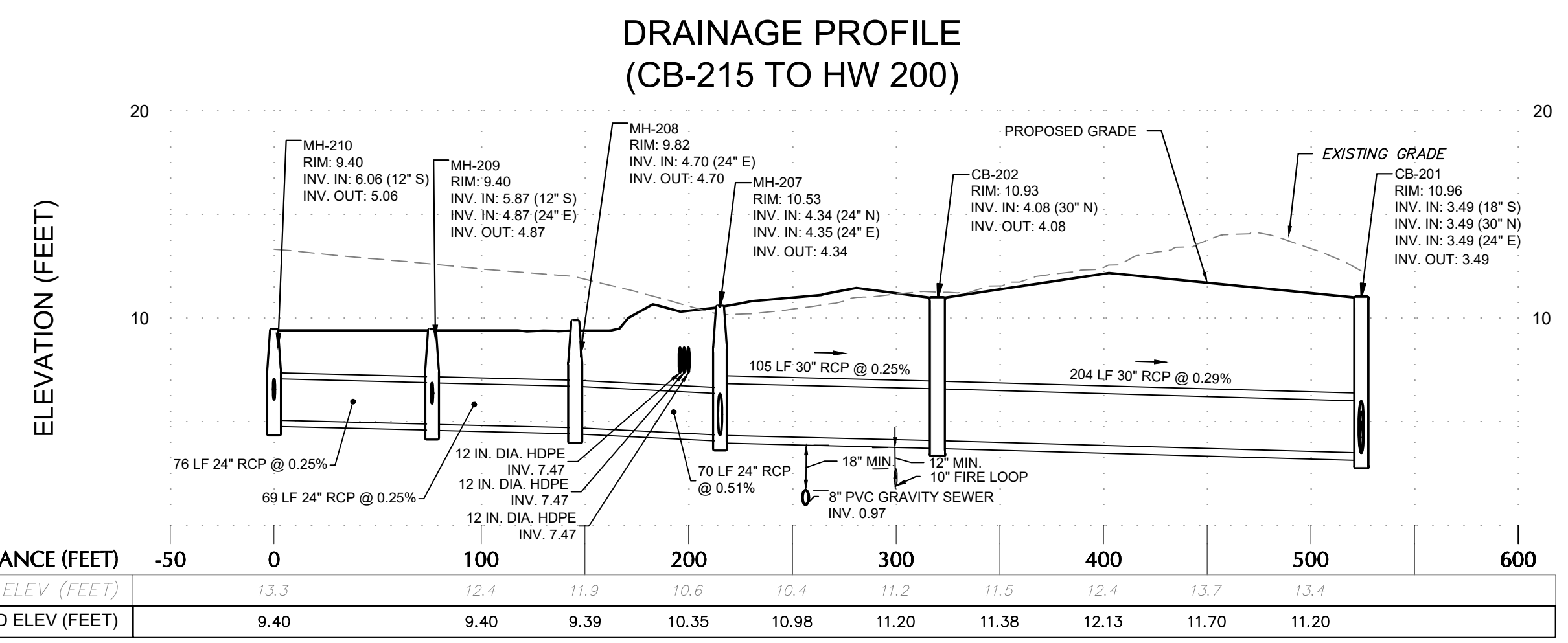
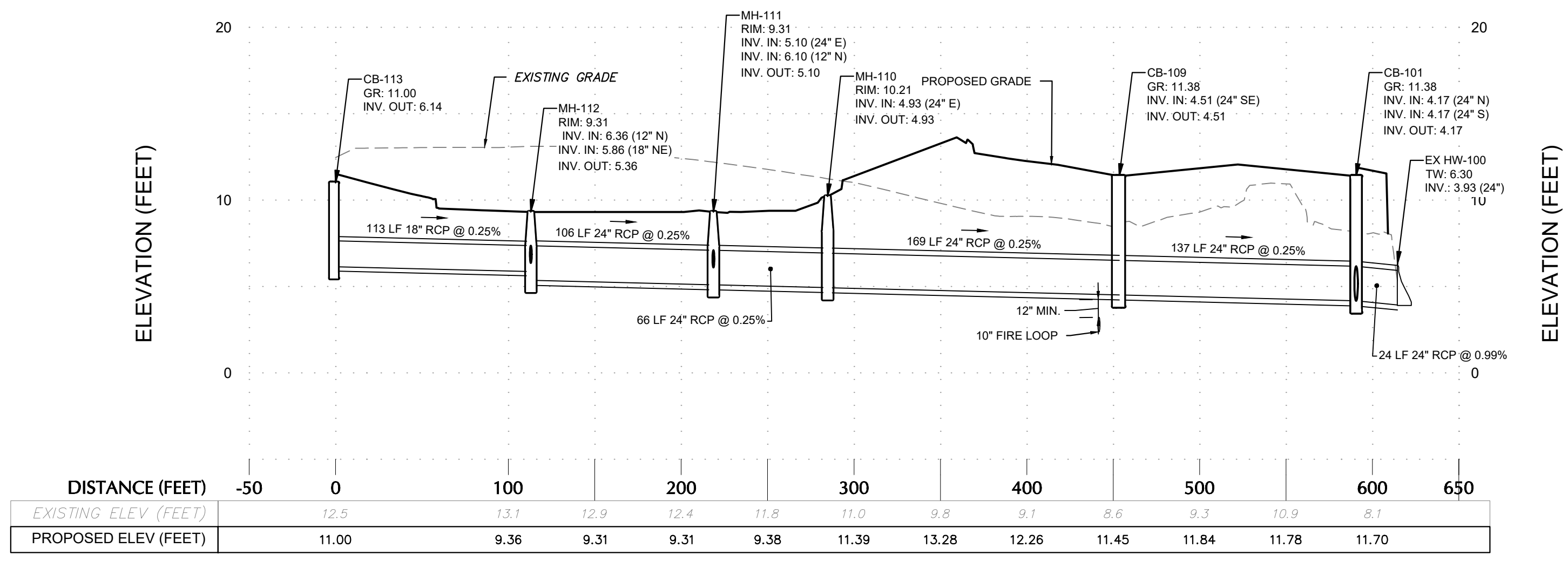
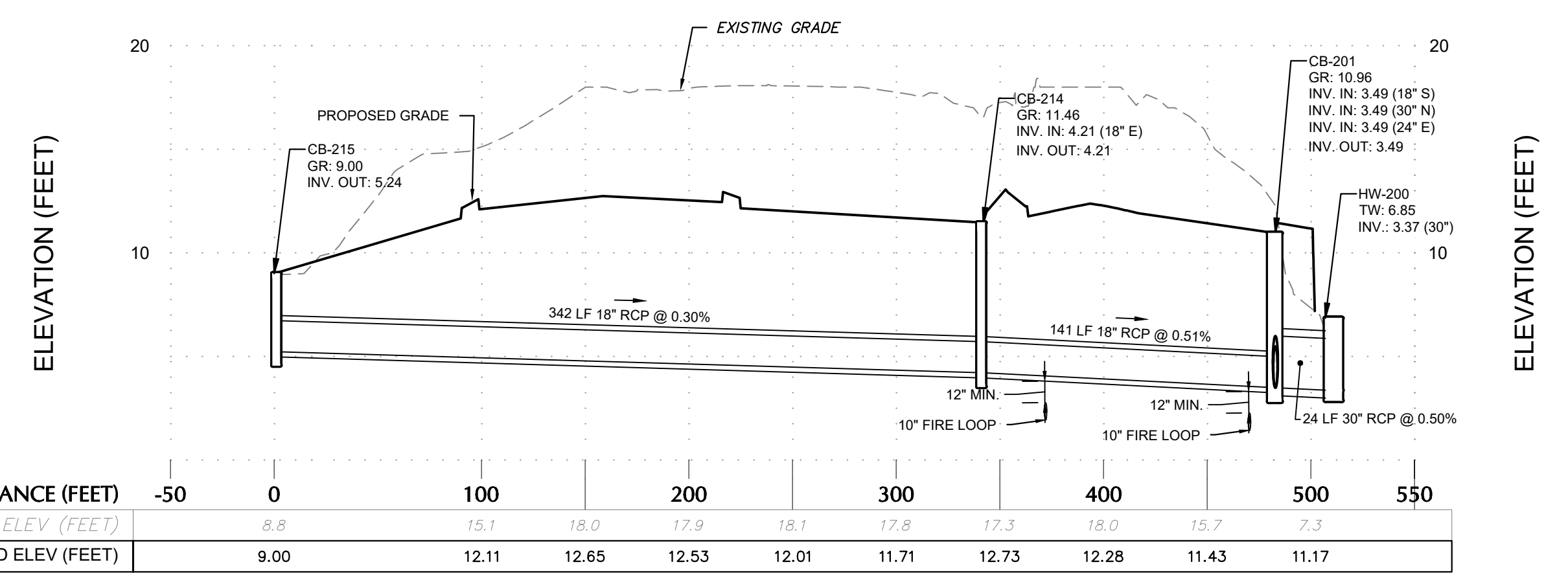
LANGAN
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 NJ CERTIFICATE OF AUTHORIZATION NO. 24GA27896400

Project
30 CROSS STREET
 BLOCK 113 / LOTS 7, 01, 7, 02, 7, 03, 8, 8, 01, 8, 02 (BOGOTA)
 BLOCK 152.01 / LOTS 1, 1.01, 2 (RIDGEFIELD PARK)
 BOROUGHS OF BOGOTA / VILLAGE OF RIDGEFIELD PARK
 BERGEN COUNTY NEW JERSEY

Drawing Title
GRADING AND DRAINAGE PLAN

Project No.	130148001	Drawing No.	CG101
Date	03/03/2021		
Drawn By	HYL		
Checked By	KW		

Sheet 5 of 19



Date	Description	No.
REVISIONS		

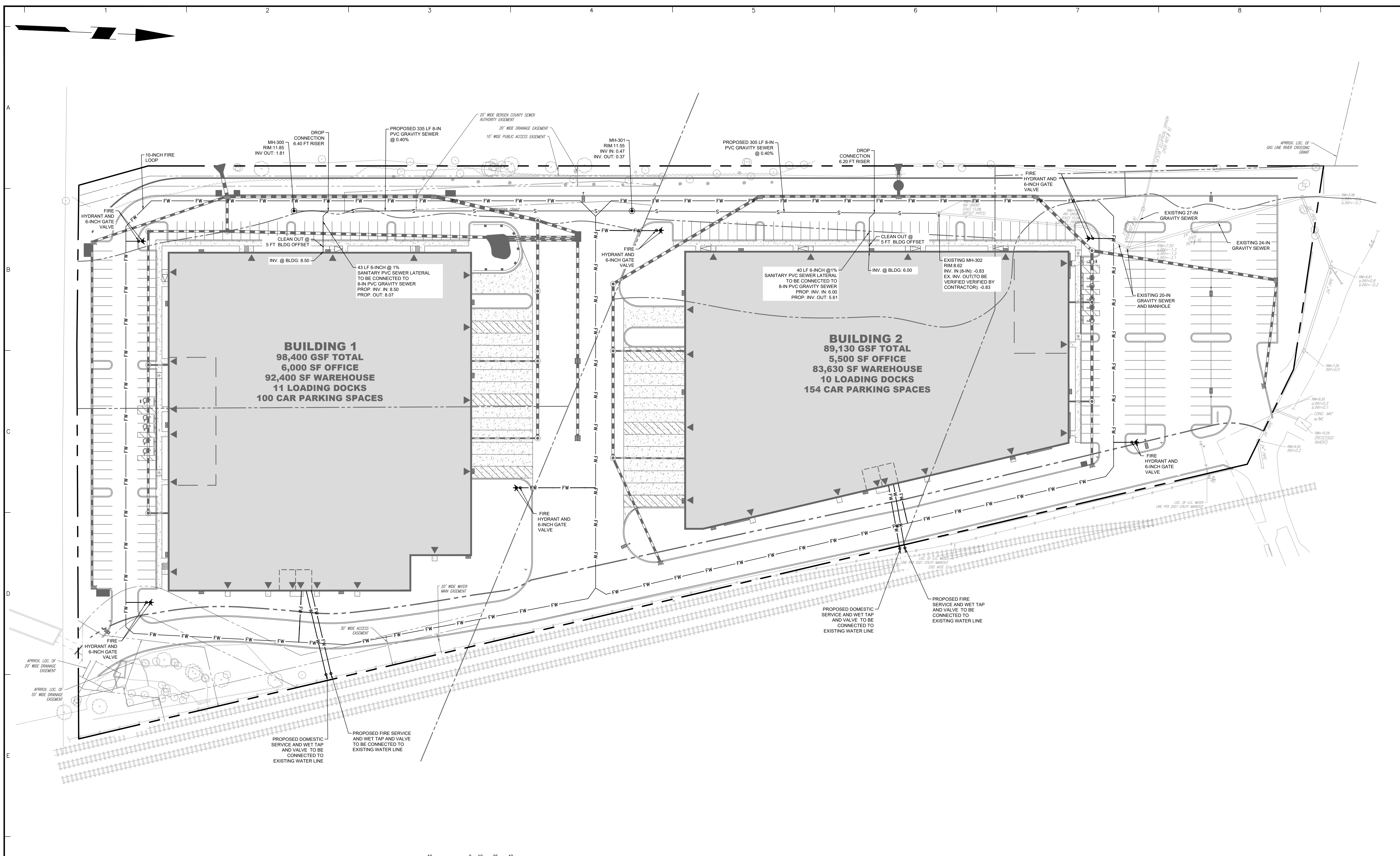
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3/11/2021

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Project
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BLOCK 113 / LOTS 7, 01, 7.02, 7.03, 8, 8.01, 8.02 (BOGOTA)
BLOCK 152.01 / LOTS 1, 1.01, 1.02 (RIDGEFIELD PARK)
BOROUGH OF BOGOTA / VILLAGE OF RIDGEFIELD PARK
BERGEN COUNTY NEW JERSEY

Drawing Title
DRAINAGE PROFILES

Project No. **130148001**
Date **03/03/2021**
Drawn By **HYL**
Checked By **KW**
Drawing No. **CG201**
Sheet 6 of 19



- UTILITY NOTES:**
- CONTRACTOR TO LOCATE AND CONFIRM ALL EXISTING LINES FOR ALL CONNECTIONS PRIOR TO CONSTRUCTION.
 - ALL UTILITY CONNECTIONS INTO THE BUILDING MUST BE CONFIRMED/COORDINATED WITH MEP PLANS, FIRE PROTECTION PLANS, AND UTILITY PROVIDERS.



Date	Description	No.
REVISIONS		

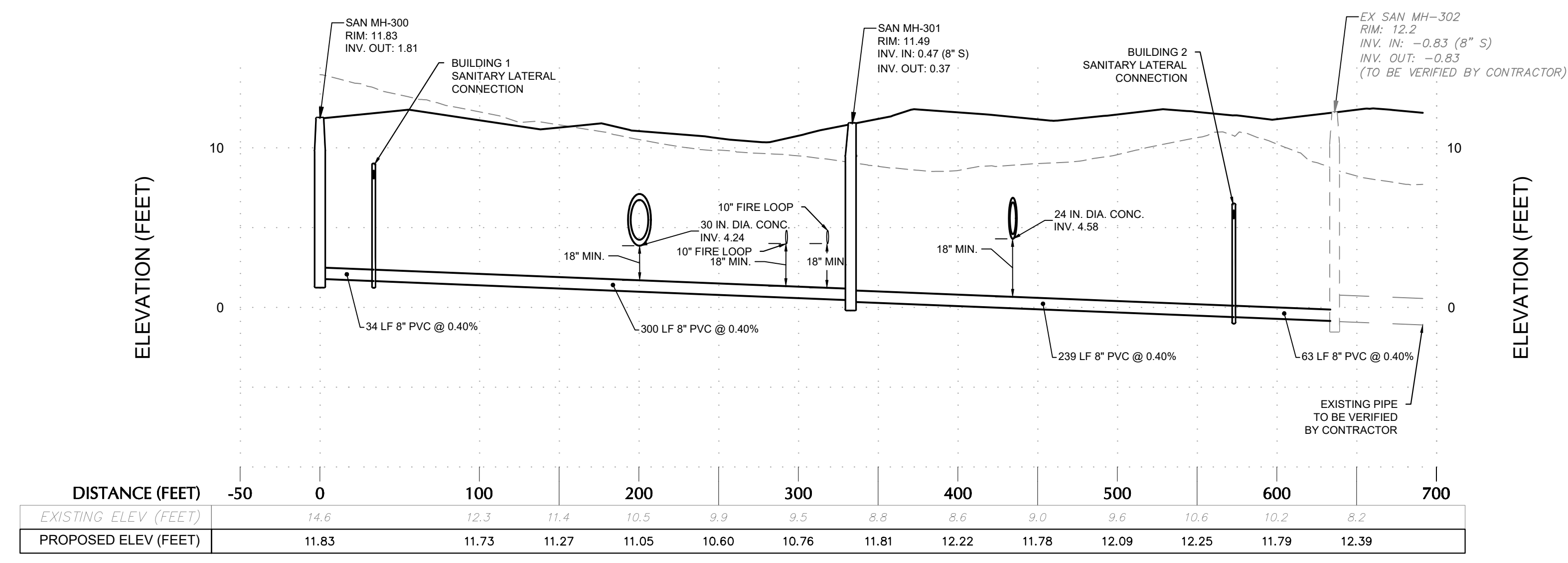
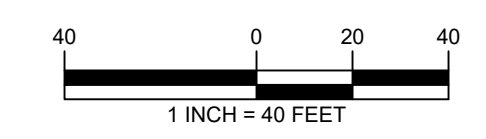
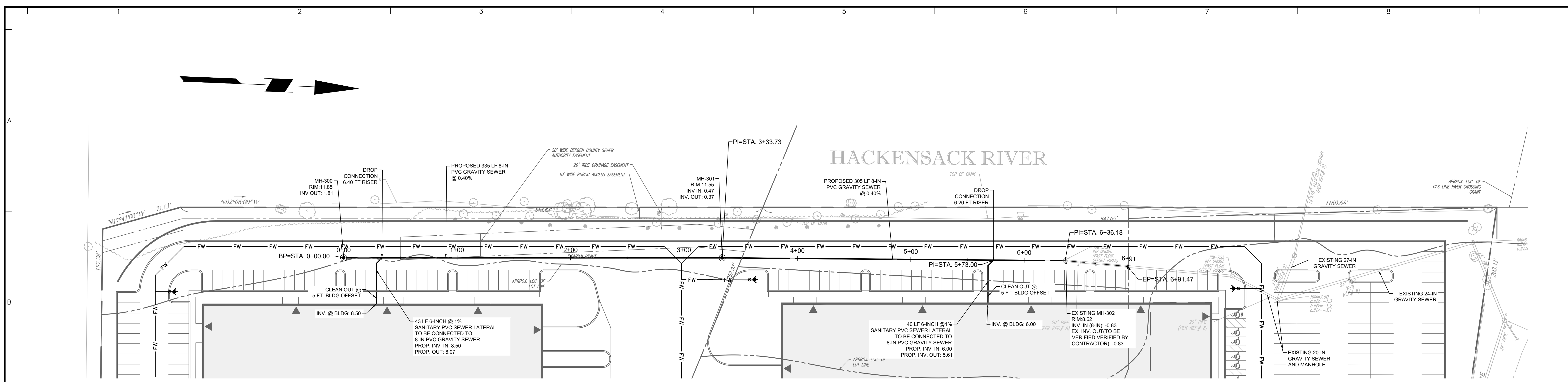
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Project
30 CROSS STREET
BLOCK 113 / LOTS 7, 01, 7.02, 7.03, 8, 8.01, 8.02 (BOGOTA)
BLOCK 152.01 / LOTS 1, 1.01, 2 (RIDGEFIELD PARK)
BOROUGH OF BOGOTA / VILLAGE OF RIDGEFIELD PARK
BERGEN COUNTY NEW JERSEY

Drawing Title
UTILITY PLAN

Project No. 130148001	Drawing No. CU101
Date 03/03/2021	
Drawn By HYL	
Checked By KW	
	Sheet 7 of 19



SANITARY PROFILE
 VERTICAL SCALE IN FEET: 1 INCH = 6 FEET
 HORIZONTAL SCALE IN FEET: 1 INCH = 60 FEET

Date	Description	No.
REVISIONS		

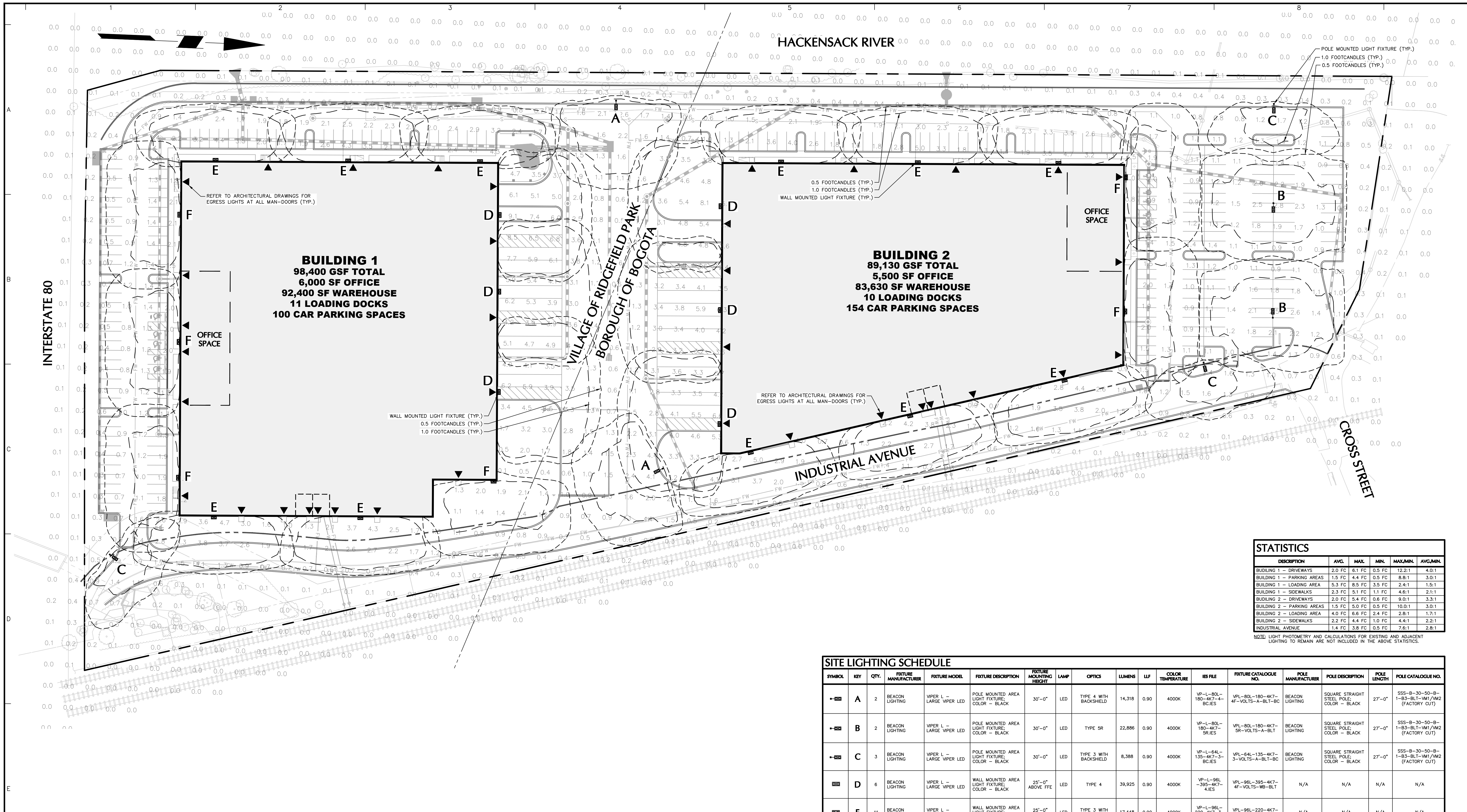
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Project
30 CROSS STREET
 BLOCK 113 / LOTS 7, 7.01, 7.02, 7.03, 8, 8.01, 8.02 (BOGOTA)
 BLOCK 152.01 / LOTS 1, 1.01, 2 (RIDGEFIELD PARK)
 BOROUGH OF BOGOTA / VILLAGE OF RIDGEFIELD PARK
 BERGEN COUNTY NEW JERSEY

Drawing Title
**SANITARY SEWER
 PROFILE**

Project No. 130148001	Drawing No. CU201
Date 03/03/2021	Sheet 8 of 19
Drawn By HYL	
Checked By KJW	



STATISTICS					
DESCRIPTION	AVG.	MAX.	MIN.	MAX./MIN.	AVG./MIN.
BUILDING 1 - DRIVEWAYS	2.0 FC	6.1 FC	0.5 FC	12.2:1	4.0:1
BUILDING 1 - PARKING AREAS	1.5 FC	4.4 FC	0.5 FC	8.8:1	3.0:1
BUILDING 1 - LOADING AREA	5.3 FC	8.5 FC	3.5 FC	2.4:1	1.5:1
BUILDING 1 - SIDEWALKS	2.3 FC	5.1 FC	1.1 FC	4.6:1	2.1:1
BUILDING 2 - DRIVEWAYS	2.0 FC	5.4 FC	0.6 FC	9.0:1	3.3:1
BUILDING 2 - PARKING AREAS	1.5 FC	5.0 FC	0.5 FC	10.0:1	3.0:1
BUILDING 2 - LOADING AREA	4.0 FC	6.6 FC	2.4 FC	2.8:1	1.7:1
BUILDING 2 - SIDEWALKS	2.2 FC	4.4 FC	1.0 FC	4.4:1	2.2:1
INDUSTRIAL AVENUE	1.4 FC	3.8 FC	0.5 FC	7.6:1	2.8:1

NOTE: LIGHT PHOTOMETRY AND CALCULATIONS FOR EXISTING AND ADJACENT LIGHTING TO REMAIN ARE NOT INCLUDED IN THE ABOVE STATISTICS.

SITE LIGHTING SCHEDULE																	
SYMBOL	KEY	QTY.	FIXTURE MANUFACTURER	FIXTURE MODEL	FIXTURE DESCRIPTION	FIXTURE MOUNTING HEIGHT	LAMP	OPTICS	LUMENS	LLF	COLOR TEMPERATURE	IES FILE	FIXTURE CATALOGUE NO.	POLE MANUFACTURER	POLE DESCRIPTION	POLE LENGTH	POLE CATALOGUE NO.
A	2	BEACON LIGHTING	VIPER L - LARGE VIPER LED	VIPER L - LARGE VIPER LED	POLE MOUNTED AREA LIGHT FIXTURE; COLOR - BLACK	30'-0"	LED	TYPE 4 WITH BACKSHIELD	14,318	0.90	4000K	VP-L-80L-180-4K7-4-BCIES	VP-L-80L-180-4K7-4F-VOLTS-A-BLT-BC	BEACON LIGHTING	SQUARE STRAIGHT STEEL POLE; COLOR - BLACK	27'-0"	SSS-B-30-50-B-1-B3-BLT-W1/AM2 (FACTORY CUT)
B	2	BEACON LIGHTING	VIPER L - LARGE VIPER LED	VIPER L - LARGE VIPER LED	POLE MOUNTED AREA LIGHT FIXTURE; COLOR - BLACK	30'-0"	LED	TYPE 5R	22,886	0.90	4000K	VP-L-80L-180-4K7-5RIES	VP-L-80L-180-4K7-5R-VOLTS-A-BLT	BEACON LIGHTING	SQUARE STRAIGHT STEEL POLE; COLOR - BLACK	27'-0"	SSS-B-30-50-B-1-B3-BLT-W1/AM2 (FACTORY CUT)
C	3	BEACON LIGHTING	VIPER L - LARGE VIPER LED	VIPER L - LARGE VIPER LED	POLE MOUNTED AREA LIGHT FIXTURE; COLOR - BLACK	30'-0"	LED	TYPE 3 WITH BACKSHIELD	8,388	0.90	4000K	VP-L-64L-135-4K7-3-BCIES	VP-L-64L-135-4K7-3-VOLTS-A-BLT-BC	BEACON LIGHTING	SQUARE STRAIGHT STEEL POLE; COLOR - BLACK	27'-0"	SSS-B-30-50-B-1-B3-BLT-W1/AM2 (FACTORY CUT)
D	6	BEACON LIGHTING	VIPER L - LARGE VIPER LED	VIPER L - LARGE VIPER LED	WALL MOUNTED AREA LIGHT FIXTURE; COLOR - BLACK	25'-0" ABOVE FFE	LED	TYPE 4	39,925	0.90	4000K	VP-L-96L-395-4K7-4JES	VP-L-96L-395-4K7-4F-VOLTS-WB-BLT	N/A	N/A	N/A	N/A
E	11	BEACON LIGHTING	VIPER L - LARGE VIPER LED	VIPER L - LARGE VIPER LED	WALL MOUNTED AREA LIGHT FIXTURE; COLOR - BLACK	25'-0" ABOVE FFE	LED	TYPE 3 WITH BACKSHIELD	17,448	0.90	4000K	VP-L-96L-220-4K7-3-BCIES	VP-L-96L-220-4K7-3-VOLTS-WB-BLT-BC	N/A	N/A	N/A	N/A
F	6	BEACON LIGHTING	VIPER L - LARGE VIPER LED	VIPER L - LARGE VIPER LED	WALL MOUNTED AREA LIGHT FIXTURE; COLOR - BLACK	25'-0" ABOVE FFE	LED	TYPE 4 WIDE	15,577	0.90	4000K	VP-L-64L-135-4K7-4WJES	VP-L-64L-135-4K7-4W-VOLTS-WB-BLT	N/A	N/A	N/A	N/A

NOTES:
 1. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING VOLTAGES AND ELECTRICAL LAYOUTS.
 2. CONTRACTOR TO CONFIRM CONTROLS SYSTEM REQUIRED BY THE OWNER AND PER CODE. BID PRICING SHALL INCLUDE CONTROL SYSTEM.
 3. ALL POLES SHALL BE EQUIPPED WITH FACTORY INSTALLED VIBRATION DAMPENERS.
 4. ALL NEW LIGHT POLES SHALL UTILIZE UNDERGROUND WIRING.

ORDINANCE COMPLIANCE CHART - BOROUGH OF BOGOTA, NJ			
SECTION	REQUIREMENT	PROPOSED	COMPLIANCE
821A-10.10, OFF-STREET PARKING	ANY LIGHTING USED TO ILLUMINATE ANY OFF-STREET PARKING AREA SHALL ALSO BE SO ARRANGED AS TO REFLECT THE LIGHT AWAY FROM ADJOINING RESIDENTIAL PREMISES, RESIDENTIAL ZONES, AND FROM ALL ADJOINING STREETS.	ALL EXTERIOR LIGHT FIXTURES ARE ARRANGED TO REFLECT AWAY FROM ADJOINING PREMISES AND FROM ADJOINING STREETS.	COMPLIES

ORDINANCE COMPLIANCE CHART - SOUTH END REDEVELOPMENT PLAN			
SECTION	REQUIREMENT	PROPOSED	COMPLIANCE
84-C, OTHER REGULATIONS	A RIVER WALK OR PATH SHALL BE PROVIDED ALONG THE HACKENSACK RIVER, WHICH SHALL BE ACCESSIBLE TO THE PUBLIC AT A MINIMUM FROM DAWN TO DUSK, AND IMPROVED WITH A WALKWAY, BENCHES, LIGHTING AND LANDSCAPING.	THE EXACT DESIGN DETAILS FOR THE PEDESTRIAN AMENITY, INCLUDING LIGHTING, WILL BE COORDINATED WITH NJDEP AS PART OF THEIR FORTHCOMING REVIEW OF THE UPLAND WATERFRONT DEVELOPMENT APPLICATION.	WILL COMPLY

NOTE: REFER TO SHEET LL501 FOR LIGHTING NOTES AND DETAILS.



Date	Description	No.
REVISIONS		

Michael Szura
 MICHAEL SZURA
 N.J. LICENSED LANDSCAPE ARCHITECT
 LICENSE NO. AS00815

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Project
30 CROSS STREET
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 BLOCK 152.01 / LOTS 1, 1.01, 2 (RIDGEFIELD PARK)
 BOROUGH OF BOGOTA / VILLAGE OF RIDGEFIELD PARK
 BERGEN COUNTY NEW JERSEY

Drawing Title
LIGHTING PLAN

Project No.
 130148001
 Date
 03/10/2021
 Drawn By
 ML
 Checked By
 JC/DB
 Drawing No.
LL101
 Sheet 9 of 19

LIGHTING NOTES:

GENERAL

- 1. POINT-BY-POINT CALCULATIONS PROVIDED WITHIN HAVE BEEN PREPARED IN ACCORDANCE TO IESNA STANDARDS AND IN CONSIDERATION OF THE VARIABLES WITHIN THESE NOTES AND SITE LIGHTING SCHEDULE.

COMPLIANCE

- 3. ALL SITE LIGHTING RELATED WORK AND MATERIALS SHALL COMPLY WITH CITY, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.

COORDINATION

- 5. CONTRACTOR TO COORDINATE POWER SOURCE WITH LIGHT FIXTURES TO ENSURE ALL SITE LIGHTING IS OPERATING EFFECTIVELY, EFFICIENTLY AND SAFELY.

POLES AND FOOTINGS

- 10. PROVIDE A CONCRETE BASE FOR EACH LIGHT POLE AT THE LOCATIONS INDICATED ON THE CONSTRUCTION DRAWINGS AND/OR IN ACCORDANCE WITH PROJECT PLANS AND SPECIFICATIONS RELATING DIRECTLY TO CAST-IN-PLACE CONCRETE.

WALL MOUNTED FIXTURES

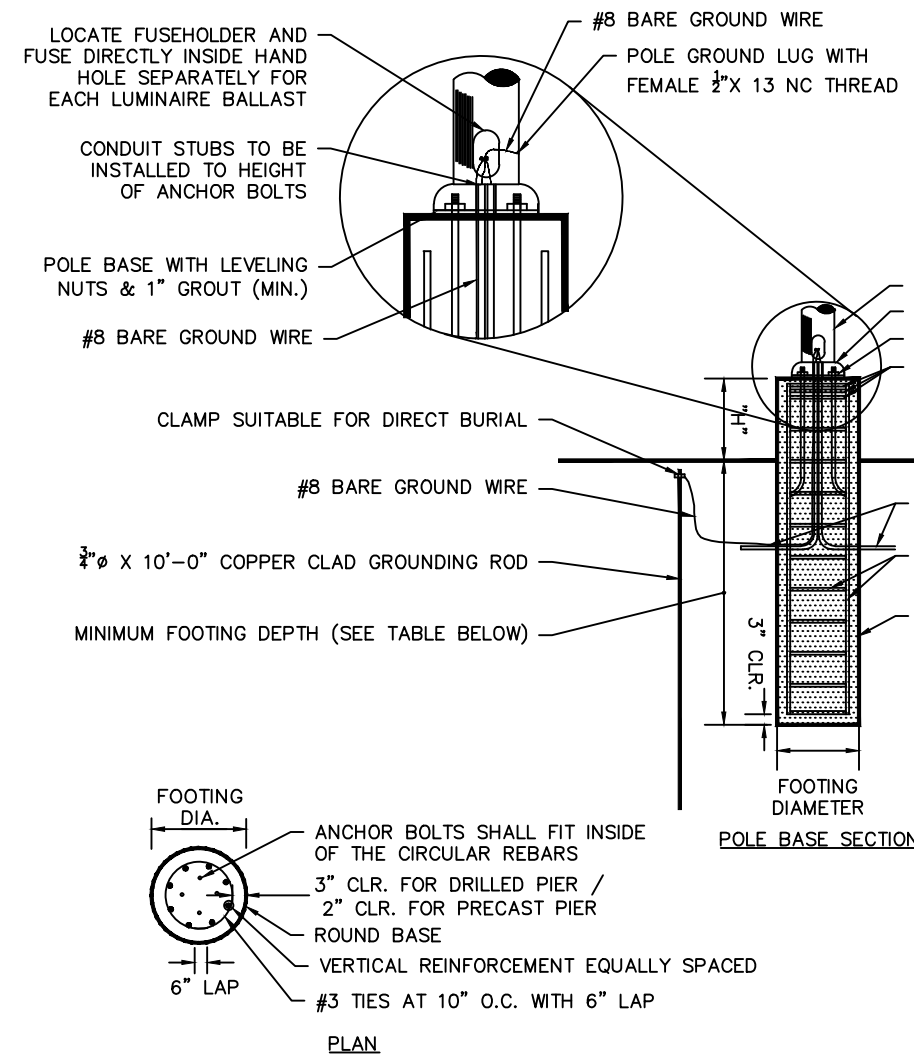
- 15. INSTALLATION AND ELECTRICAL CONNECTIONS FOR WALL MOUNTED FIXTURES TO BE COORDINATED WITH ARCHITECTURAL, STRUCTURAL, UTILITY AND SITE PLANS AND TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES.

ADJUSTMENT AND INSPECTION

- 17. CONTRACTOR TO ADJUST ALL LUMINAIRES TO PROVIDE ILLUMINATION LEVELS AND DISTRIBUTION AS INDICATED ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT AND/OR OWNER.

REQUIREMENTS FOR ALTERNATES

- 19. ALL LIGHTING SUBSTITUTIONS MUST BE MADE WITHIN 14 DAYS PRIOR TO THE BID DATE TO PROVIDE AMPLIFIED TIME FOR REVIEW AND TO ISSUE AN ADDENDUM INCORPORATING THE SUBSTITUTION WITH THE FOLLOWING REQUIREMENTS:



NOTES:

EXPOSED HEIGHT OF POLE BASE (H) SHALL BE MEASURED ON THE UPHILL SIDE OF A SLOPE. FOOTING DEPTH (D) SHALL BE MEASURED ON THE DOWNHILL SIDE OF A SLOPE.

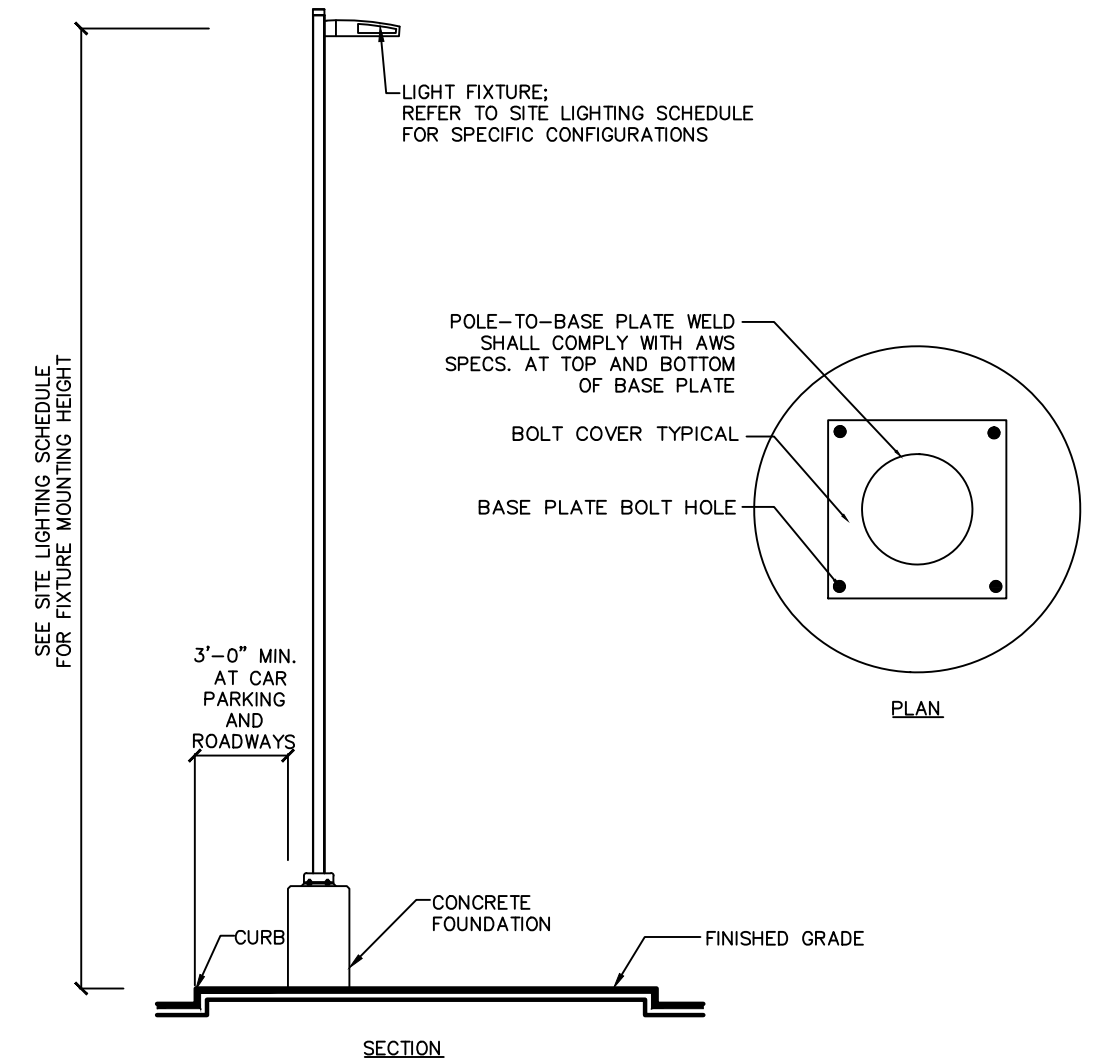
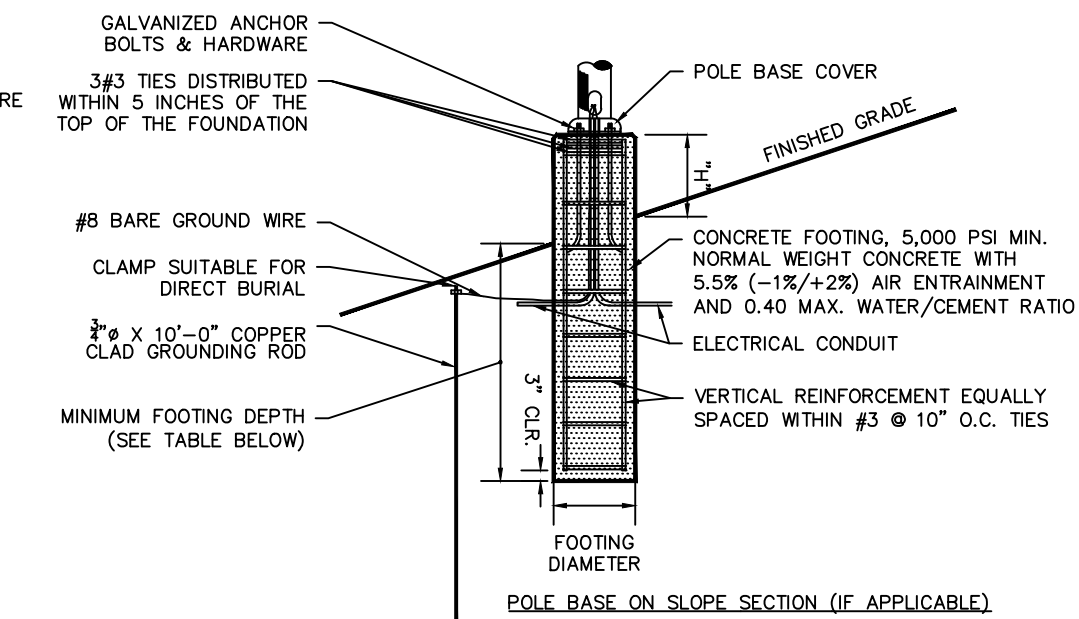


Table with 5 columns: Mounting Height, Footing Depth, Footing Diameter, Exposed Height H, Vertical Reinforcement.

NOTES:

- 1. SHAFT CAP, ARMS, BASE FLANGE, ANCHOR BOLTS, LEVELING NUTS, CONNECTION HARDWARE, BOLT COVERS, HANDLEHOLE COVER, AND BOLT CIRCLE TEMPLATE SHALL BE FURNISHED BY POLE MANUFACTURER.

LIGHT POLE BASE



VIPER L LARGE VIPER LUMINAIRE

FEATURES

- Large size companion to Viper Small
- Wide choice of different LED wattage configurations
- Ten optical distributions
- Designed to replace HID lighting up to 1000W MH or HPS



CONTROL TECHNOLOGY



SPECIFICATIONS

- Manufactured with die cast aluminum
- Coated with a polyester finish that meets ASTM B117 corrosion test requirements and ASTM D522 cracking and loss of adhesion test requirements

OPTICS

- Cartridge is held together with internal brass standoffs soldered to the board so that it can be field replaced as a one-piece optical system
- One-piece silicone gasket ensures a weatherproof seal around each individual optic

INSTALLATION

- Mounting options for horizontal arm, vertical tenon or traditional arm mounting available.

ELECTRICAL

- Luminaire accepts 100V through 277V, 347V or 480V input 50 Hz to 60 Hz (UNV)

CONROLS (CONTINUED)

- In addition, Viper can be specified with SiteSync™ wireless control system for reduction in energy and maintenance costs while optimizing light quality 24/7
- DILC™ (Design/Lights Consortium) Qualified: Please refer to the DLC website for specific product qualifications at www.designlights.org

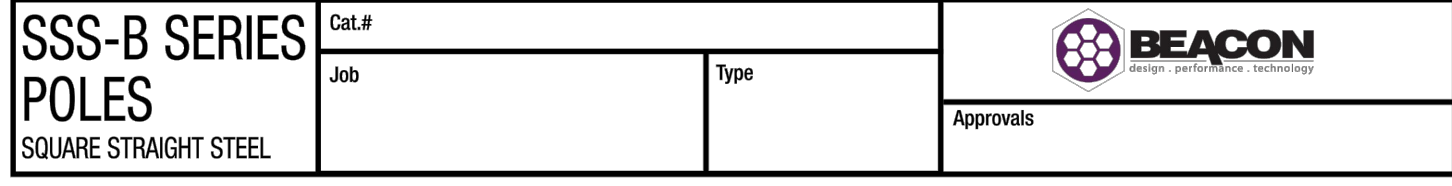
WARRANTY

- 5 year warranty
- See HLI Commercial and Industrial Outdoor Lighting Warranty for additional information

KEY DATA table with columns: Lumen Range, Wattage Range, Efficacy Range (LPW), Reported Life (Hours), Input Current Range (Amps).

NTS

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APPLICATIONS

- Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location

CONSTRUCTION

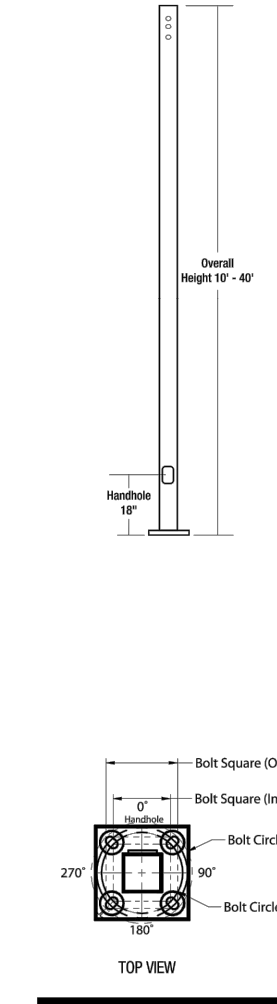
- SHAFT: One-piece straight steel with square cross section, flat sides and minimum 0.23" radius on all corners; Minimum yield of 46,000 psi (ASTM-A500, Grade B); Longitudinal weld seam to appear flush with shaft side wall; Steel base plate with axial bolt circle slots welded flush to pole shaft having minimum yield of 36,000 psi (ASTM A36)

FINISH

- Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness
- Powder paint prime applied over "white metal" steel substrate cleaned with mechanical shot blast method

WAREHOUSE 'STOCKED' POLES:

- SSSH20-40A-4-HV-DB-RDC, SSSH25-40A-4-HV-DB-RDC and SSSH30-50B-4-HV-DB-RDC
- The HV designation in the above catalog numbers is a combination drill pattern of the Hubbell Outdoor S2 pattern and the Beacon B3/B4 Viper pattern (rectangular arm mounting)

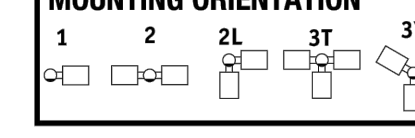


ORDERING INFORMATION

ORDERING EXAMPLE: SSS-B - 25 - 40 - A/B/C - 2L - B3 - BLT - UL

Table with columns: SERIES, HEIGHT, SHAFT, THICKNESS, FINISH, OPTIONS.

MOUNTING ORIENTATION



ACCESSORIES - Order Separately

Table with columns: Accessory Number, Description.

Table with columns: Drill Pattern, Description.

Beacon Products • 701 Millstream Blvd, Greenville, SC 29607 • Phone: 864-678-1000

AREA LIGHT FIXTURE

NTS

LIGHT POLE

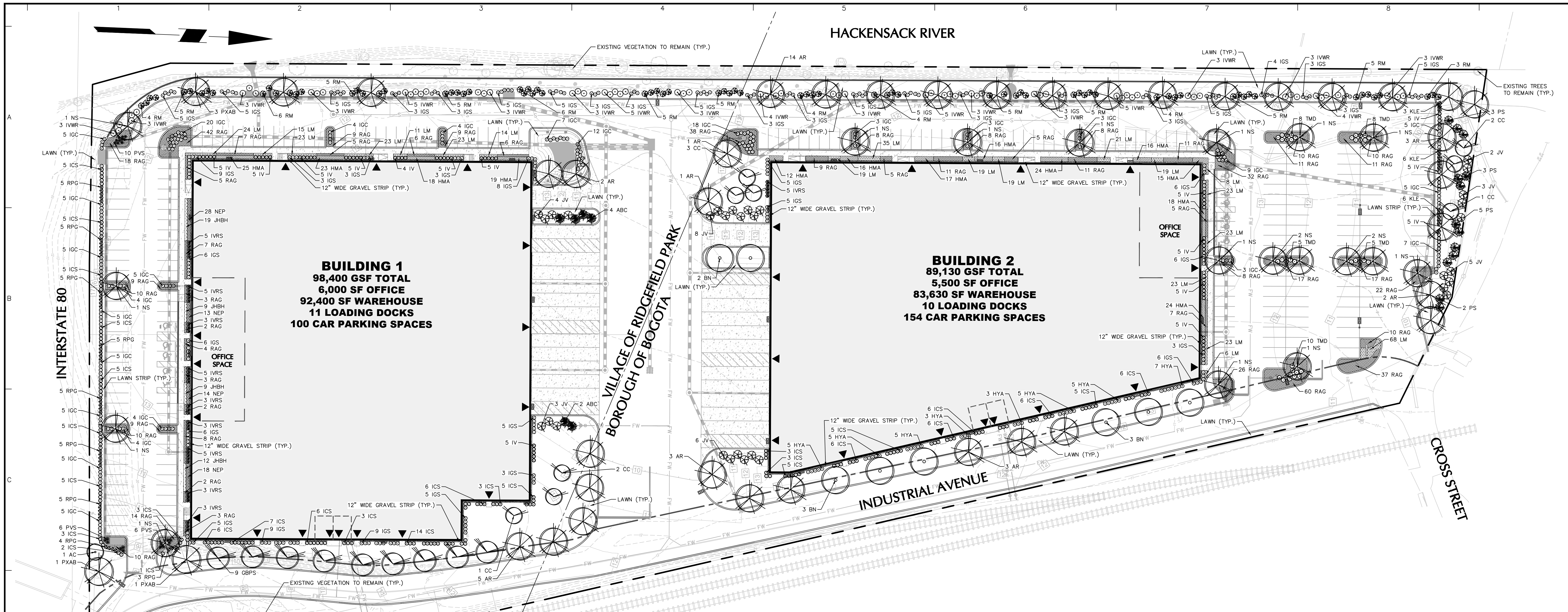
NTS

Signature of Kevin Webb, Professional Engineer, dated 3/11/2021.

LANGAN Langan Engineering and Environmental Services, Inc. 989 Lenox Drive, Suite 124 Lawrenceville, NJ 08648

Project: 30 CROSS STREET, BLOCK 113/LOTS 7, 7.01, 7.02, 7.03, 8, 8.01, 8.02 (BOGOTA) BLOCK 152.01 / LOTS 1, 1.01, 2 (RIDGEFIELD PARK) BOROUGH OF BOGOTA / VILLAGE OF RIDGEFIELD PARK BERGEN COUNTY NEW JERSEY

Drawing Title: LIGHTING NOTES AND DETAILS. Project No. 130148001. Date: 03/10/2021. Drawn By: ML. Checked By: JCDB. Drawing No. LL501. Sheet 10 of 19.



ORDINANCE COMPLIANCE CHART - BOROUGH OF BOGOTA, NJ

SECTION	REQUIREMENT	PROPOSED	COMPLIANCE
§21-13.5. SHADE TREES AND PLANTING STRIPS	A. SHADE TREES SHALL BE PROVIDED IN ALL MAJOR RESIDENTIAL SUBDIVISIONS AND IN SUBDIVISIONS OF OTHER KINDS WHERE DEEMED APPROPRIATE BY THE PLANNING BOARD/ZONING BOARD OF ADJUSTMENT. TREES SHALL BE PLANTED WITHIN THE SUBDIVISION ALONG EACH SIDE OF THE STREET AT PROPER INTERVALS AND IN TYPES, SIZES AND LOCATIONS CONCLUSIVE TO HEALTHY GROWTH WITH GRADED AND SEEDING OR SOODED PLANTING STRIPS WITH STREET RIGHTS-OF-WAY AND ACCORDING TO ANY STANDARDS ADOPTED BY THE GOVERNING BODY OR BOROUGH ENVIRONMENTAL COMMISSION SO AS NOT TO INTERFERE WITH STREET PAVING, SIDEWALKS, OR UTILITIES.	SHADE TREES ARE PROPOSED AT 40 FEET O.C. AT 2 1/2 TO 3 INCH CALIPER ALONG THE WESTERN PORTION OF INDUSTRIAL AVENUE, DUE TO LIMITED SPACE AND UTILITY CONFLICTS ALONG THE EASTERN PORTION OF INDUSTRIAL AVENUE. SHADE TREES ARE INSTEAD PROPOSED ELSEWHERE ON-SITE.	COMPLIES
	B. ALL TREES SHOULD BE OF NURSERY STOCK OF NO LESS THAN TWO AND ONE-HALF (2 1/2) INCH CALIPER AND OF AN APPROVED SPECIES GROWN UNDER THE SAME CLIMATIC CONDITIONS AS AT THE LOCATION OF THE DEVELOPMENT.	ALL TREES SHALL BE NO LESS THAN 2 1/2 INCH CALIPER AND ARE OF A SPECIES NATIVE TO NEW JERSEY.	COMPLIES
§21-13.10. NATURAL FEATURES	A. NATURAL FEATURES SUCH AS TREES, WETLANDS, NATURAL TERRAIN AND BROOKS SHALL BE PRESERVED WHATEVER POSSIBLE IN DESIGNING ANY SUBDIVISION CONTAINING SUCH FEATURES. ON INDIVIDUAL LOTS OR PARCELS, CARE SHALL BE TAKEN TO PRESERVE SELECTED TREES TO ENHANCE THE LANDSCAPE PLAN OF THE DEVELOPMENT.	EXISTING VEGETATION IS TO REMAIN UP TO THE LIMIT OF DISTURBANCE.	COMPLIES

ORDINANCE COMPLIANCE CHART - SOUTH END REDEVELOPMENT PLAN

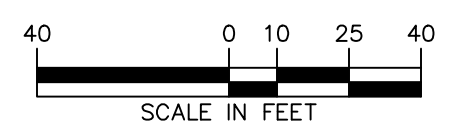
SECTION	REQUIREMENT	PROPOSED	COMPLIANCE
§4-C. OTHER REGULATIONS	2. CIRCULATION SHALL BE CONTROLLED WITH LANDSCAPE ISLANDS AT THE END OF PARKING BAYS. ALL LANDSCAPING SHALL BE MAINTAINED TO AVOID OBSTRUCTION OF SIGHT TRIANGLES. CURBS SHALL BE INSTALLED AROUND ALL PARKING AREAS AND ALONG DRIVEWAYS.	LANDSCAPE ISLANDS ARE PROPOSED AT THE END OF PARKING BAYS AND ALL LANDSCAPING SHALL BE MAINTAINED TO AVOID OBSTRUCTION OF SIGHT TRIANGLES.	COMPLIES
	4. A RIVER WALK OR PATH SHALL BE PROVIDED ALONG THE HACKENSACK RIVER, WHICH SHALL BE ACCESSIBLE TO THE PUBLIC AT A MINIMUM FROM DAWN TO DUSK, AND IMPROVED WITH A WALKWAY, BENCHES, LIGHTING AND LANDSCAPING.	THE EXACT DESIGN DETAILS FOR THE PEDESTRIAN AMENITY, INCLUDING LANDSCAPE, WILL BE COORDINATED WITH NJDEP AS PART OF THEIR FORTHCOMING REVIEW OF THE UPLAND WATERFRONT DEVELOPMENT APPLICATION.	WILL COMPLY

PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
SHADE TREE(S)						
AR	34	ACER RUBRUM	RED MAPLE	2 1/2-3" CAL	B+B	-
GBPS	9	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY BRAND GINKGO	2 1/2-3" CAL	B+B	-
NS	18	NYSSA SYLVATICA	SOURWOOD OR TUPELO	2 1/2-3" CAL	B+B	-
PXAB	5	PLATANUS X ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANETREE(S)	2 1/2-3" CAL	B+B	-
BN	8	BETULA NIGRA	MULTI STEM RIVER BIRCH	2 1/2-3" CAL	B+B	-
ORNAMENTAL TREE(S)						
AC	1	AMELANCHIER CANADENSIS	MULTI STEM SHADBLOW SERVICEBERRY	8-10"	B+B	-
CC	9	CERCIS CANADENSIS	EASTERN REDBUD	8-10"	B+B	-
EVERGREEN TREE(S)						
ABC	6	ABIES CONCOLOR	WHITE FIR	6-7"	B+B	-
IO	3	ILEX OPACA	AMERICAN HOLLY	6-7"	B+B	-
JV	31	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6-7"	B+B	-
PS	13	PINUS STROBUS	EASTERN WHITE PINE	6-7"	B+B	-
EVERGREEN SHRUB(S)						
ICS	145	ILEX ORENATA 'STEEDS'	STEEDS JAPANESE HOLLY	30-36"	#3 CAN	-
IGC	159	ILEX GLABRA COMPACTA	DWARF INKBERRY HOLLY	24-30"	#5 CAN	-
IGS	197	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	24-30"	#5 CAN	-
JHBH	49	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	15-18" SPRD.	#3 CAN	spaced @ 24" o.c.
KLE	15	KALMIA LATIFOLIA 'ELF'	ELF MOUNTAIN LAUREL	24-30"	B+B	-
RM	76	RHODODENDRON MAXIMUM 'ROSEBAY'	ROSEBAY RHODODENDRON	4-5'	B+B	-
RPG	42	RHODODENDRON 'PURPLE GEM'	PURPLE GEM RHODODENDRON	24-30"	#3 CAN	-
TMD	36	TAXUS X MEDIA 'DENSIFORMIS'	DENSIFORMIS YEW	24-30"	B+B	-
DECIDUOUS SHRUB(S)						
HYA	38	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	24-30"	CONTAINER	-
IV	74	ITEA VIRGINICA 'HENRY'S GARNET'	GARNET SWEETSPICE	24-30"	#5 CAN	-
IVRS	40	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY HOLLY	3 GAL.	CONTAINER	-
IVWR	67	ILEX VERTICILLATA 'WINTER RED'	WINTER RED WINTERBERRY HOLLY	30-36"	#5 CAN	-
RAG	601	RHUS AROMATICA 'GRO LOW'	GRO LOW FRAGRANT SUMAC	3 GAL.	CONTAINER	spaced @ 36" o.c.
PERENNIAL(S)						
LM	439	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 PT.	CONTAINER	spaced @ 18" o.c.
NEP	73	NETETA RACEMOSA 'WALKER'S LOW'	WALKER'S LOW CATMINT	1 GAL.	CONTAINER	spaced @ 24" o.c.
ORNAMENTAL GRASSES(S)						
HMA	238	HAKONECHLOA MACRA 'AUREOLA'	GREEN HAKONE GRASS	1 GAL.	CONTAINER	spaced @ 24" o.c.
PVS	22	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	2 GAL.	CONTAINER	-

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

NOTE: REFER TO SHEET LP501 FOR LANDSCAPE NOTES AND DETAILS.



Date	Description	No.
REVISIONS		

LANGAN
Langan Engineering and Environmental Services, Inc.
989 Lenox Drive, Suite 124
Lawrenceville, NJ 08648

Michael Szura
N.J. LICENSED LANDSCAPE ARCHITECT
LICENSE NO. AS00815

T: 609.282.8000 F: 609.282.8001 www.langan.com
NJ CERTIFICATE OF AUTHORIZATION NO. 24GA27896400

Project
30 CROSS STREET
BLOCK 113 / LOTS 7, 7.01, 7.02, 7.03, 8, 8.01, 8.02 (BOGOTA)
BLOCK 152.01 / LOTS 1, 1.01, 2 (RIDGEFIELD PARK)
BOROUGH OF BOGOTA / VILLAGE OF RIDGEFIELD PARK
BERGEN COUNTY NEW JERSEY

Drawing Title
LANDSCAPE PLAN

Project No.
130148001

Date
03/10/2021

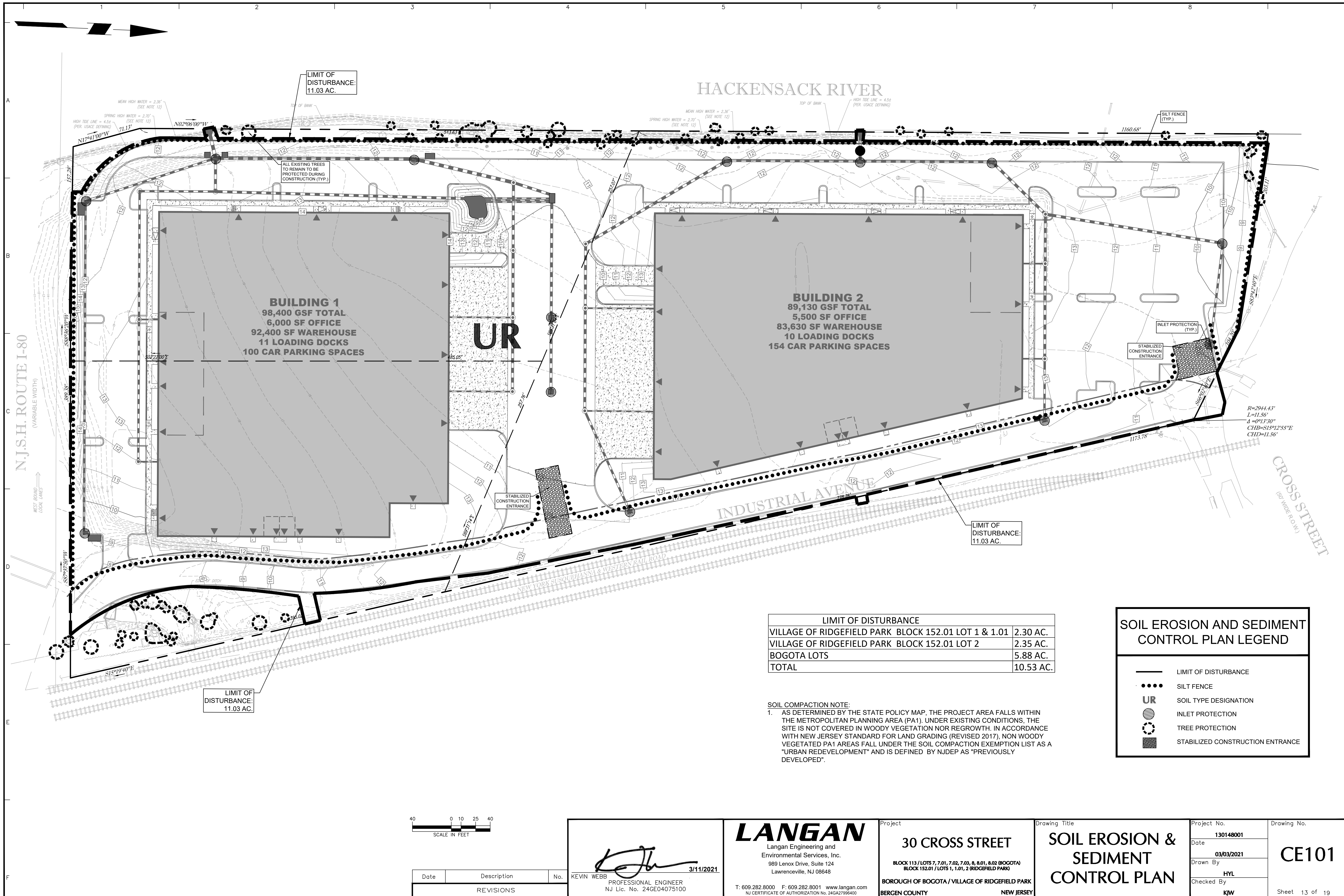
Drawn By
ML

Checked By
JC/DB

Drawing No.
LP101

Sheet 11 of 19

PROJECT NO. 130148001



LIMIT OF DISTURBANCE: 11.03 AC.

LIMIT OF DISTURBANCE: 11.03 AC.

LIMIT OF DISTURBANCE: 11.03 AC.

LIMIT OF DISTURBANCE	
VILLAGE OF RIDGEFIELD PARK BLOCK 152.01 LOT 1 & 1.01	2.30 AC.
VILLAGE OF RIDGEFIELD PARK BLOCK 152.01 LOT 2	2.35 AC.
BOGOTA LOTS	5.88 AC.
TOTAL	10.53 AC.

SOIL COMPACTION NOTE:
 1. AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN THE METROPOLITAN PLANNING AREA (PA1). UNDER EXISTING CONDITIONS, THE SITE IS NOT COVERED IN WOODY VEGETATION NOR REGROWTH. IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND GRADING (REVISED 2017), NON WOODY VEGETATED PA1 AREAS FALL UNDER THE SOIL COMPACTION EXEMPTION LIST AS A "URBAN REDEVELOPMENT" AND IS DEFINED BY NJDEP AS "PREVIOUSLY DEVELOPED".

SOIL EROSION AND SEDIMENT CONTROL PLAN LEGEND	
	LIMIT OF DISTURBANCE
	SILT FENCE
	SOIL TYPE DESIGNATION
	INLET PROTECTION
	TREE PROTECTION
	STABILIZED CONSTRUCTION ENTRANCE



Date	Description	No.
REVISIONS		

3/11/2021
KEVIN WEBB
 PROFESSIONAL ENGINEER
 NJ Lic. No. 24GE04075100

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 NJ CERTIFICATE OF AUTHORIZATION No. 24GA27986400

Project
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 BOROUGH OF BOGOTA / VILLAGE OF RIDGEFIELD PARK
 BERGEN COUNTY NEW JERSEY

Drawing Title
SOIL EROSION & SEDIMENT CONTROL PLAN

Project No.	130148001	Drawing No.	CE101
Date	03/03/2021		
Drawn By	HYL	Sheet	13 of 19
Checked By	KW		

PROJECT NO. 130148001
 LANEAN

**BERGEN COUNTY SOIL DISTRICT
SOIL EROSION AND SEDIMENT CONTROL NOTES**

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL," 7th EDITION LAST REVISED DECEMBER 2017. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND MULCHING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH UNROTTED STRAW AT A RATE OF 2 TONS PER ACRE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NJ STANDARDS.
- STABILIZATION SPECIFICATIONS:**
 - TEMPORARY SEEDING AND MULCHING:**
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
FERTILIZER - APPLY 11 LBS. /1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
SEED - PERENNIAL RYEGRASS 100 LBS. /ACRE (2.3 LBS. /1,000 SF) OR OTHER APPROVED SEED; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS. /1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
 - PERMANENT SEEDING AND MULCHING:**
TOPSOIL - A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5", MINIMUM OF 4" FIRMED IN PLACE IS REQUIRED.
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
FERTILIZER - APPLY 11 LBS. /1,000 SF OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
SEED - TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 350 LBS. /ACRE (8 LBS. /1,000 SF) OR OTHER APPROVED SEED; PLANT BETWEEN MARCH 1 AND OCTOBER 1 (SUMMER SEEDING REQUIRES IRRIGATION)
MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS. /1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
- STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A HAYBALE SEDIMENT BARRIER OR SILT FENCE.
- A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 1" - 2 1/2" CRUSHED STONE, 6" THICK, WILL BE AT LEAST 30' X 100' AND SHOULD BE UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED.
- MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
- DRIVEWAYS MUST BE STABILIZED WITH 1" - 2 1/2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
- ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- CATCH BASIN INLETS WILL BE PROTECTED WITH AN INLET FILTER DESIGNED IN ACCORDANCE WITH SECTION 28 -1 OF THE NJ STANDARDS.
- STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT CONTROL BAG OR OTHER APPROVED FILTER IN ACCORDANCE WITH SECTION 14-1 OF THE NJ STANDARDS.
- DUST SHALL BE CONTROLLED VIA THE APPLICATION OF WATER, CALCIUM CHLORIDE OR OTHER APPROVED METHOD IN ACCORDANCE WITH SECTION 16-1 OF THE NJ STANDARDS.
- TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH SECTION 9-1 OF THE NJ STANDARDS.
- THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFF-SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- ANY REVISION TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION IN THE FIELD.
- A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE THROUGHOUT CONSTRUCTION.
- THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCE. BERGEN COUNTY SCD, 700 KINDERKAMACK ROAD, SUITE 106, ORADELL, NJ 07649. TEL: 201-261-4407; FAX 201-261-7573.
- THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF-SITE EROSION PROBLEMS DURING CONSTRUCTION.
- THE OWNER MUST OBTAIN A DISTRICT ISSUED REPORT OF COMPLIANCE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. THE DISTRICT REQUIRES AT LEAST ONE WEEK'S NOTICE TO FACILITATE THE SCHEDULING OF ALL REPORT OF COMPLIANCE INSPECTIONS. ALL SITE WORK MUST BE COMPLETED, INCLUDING TEMPORARY/PERMANENT STABILIZATION OF ALL EXPOSED AREAS, PRIOR TO THE ISSUANCE OF A REPORT OF COMPLIANCE BY THE DISTRICT.

SCHEDULE OF CONSTRUCTION OPERATIONS

1. NOTIFY THE BERGEN COUNTY COUNTY SOIL CONSERVATION DISTRICT AT LEAST 48 HOURS PRIOR TO ANY PROJECT PRE-CONSTRUCTION MEETING OR SITE DISTURBANCES.	
2. INSTALL A GRAVEL BUFFER OF 2 1/2" WASHED STONE 12" DEEP AT THE CONSTRUCTION ENTRANCES IMMEDIATELY AFTER INITIAL DISTURBANCES AS PER STANDARDS ON DRAWINGS. TRAFFIC SHOULD USE ONLY THESE AREAS FOR INGRESS AND EGRESS.	1 DAY
3. EQUIP ALL CATCH BASINS WITH FILTER FABRIC INLET PROTECTION IMMEDIATELY UPON START OF CONSTRUCTION.	1 DAY
4. PLACE AND MAINTAIN THE SEDIMENT BARRIERS AS SHOWN ON THE PLAN.	1 WEEK
5. DEMOLISH EXISTING DEVELOPMENT.	1 MONTH
6. CONSTRUCT STORM SEWERS, SANITARY SEWERS, SEDIMENT CONTROL MEASURES AROUND INLETS.	1 MONTH
7. CONSTRUCT CURBS AND SIDEWALKS.	3 WEEKS
8. INSTALL PAVEMENT BASECOURSE.	2 WEEKS
9. CONSTRUCT BUILDING.	12 MONTHS
10. FINAL GRADING OF SITE INCLUDING 6-IN TOPSOIL AND PERMANENT STABILIZATION, AND PAVEMENT TOPCOURSE.	2 WEEKS
11. ALL SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL IMPROVEMENTS TO THE SITE ARE COMPLETE, PARKING AREAS ARE PAVED, AND LANDSCAPE AREAS ARE PERMANENTLY STABILIZED.	CONTINUOUS
12. PLANT ALL LANDSCAPED AREAS AS INDICATED ON THE LANDSCAPING PLAN AND REMOVE ALL TEMPORARY SEDIMENT CONTROL STRUCTURES.	1 WEEK
13. NOTIFY THE BERGEN COUNTY COUNTY SOIL CONSERVATION DISTRICT AT THE COMPLETION OF CONSTRUCTION.	1 DAY

ACID SOIL MITIGATION PLAN

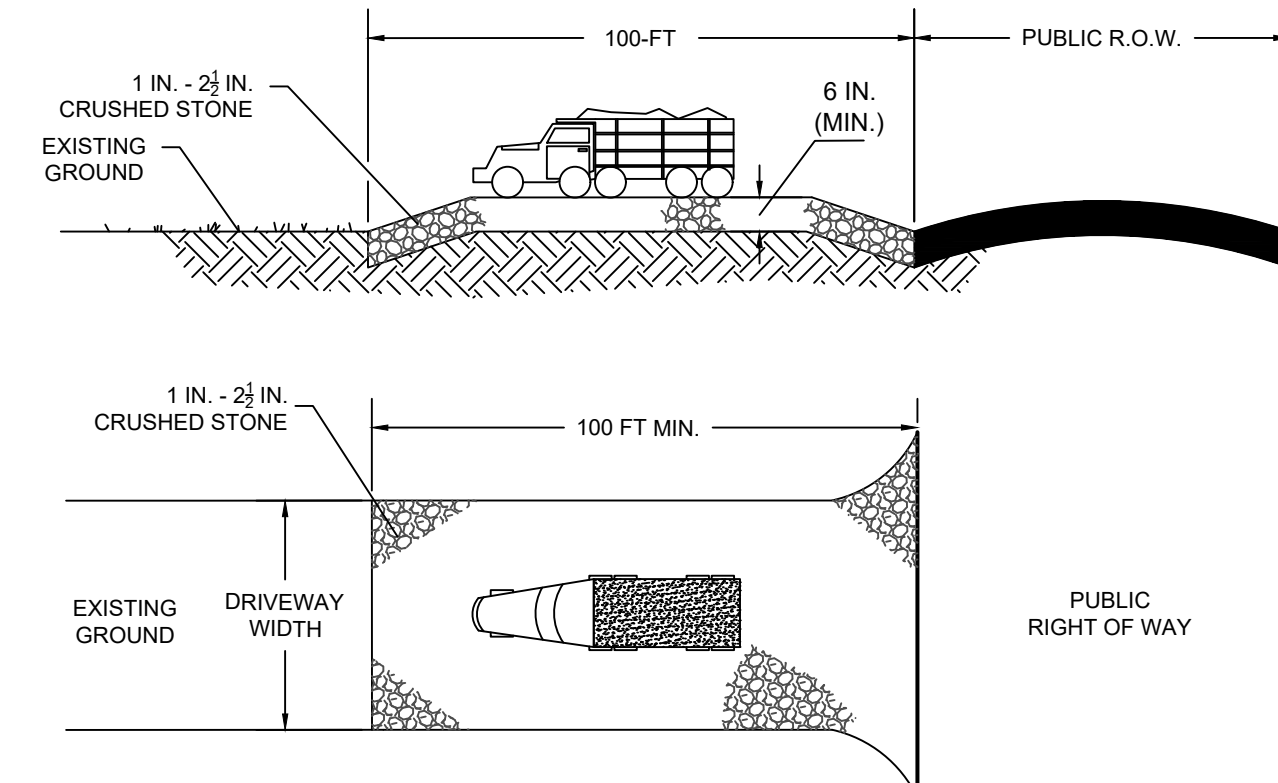
- SEPARATE AND TEMPORARILY STOCKPILE HIGH ACID PRODUCING SOILS (WITH A PH LESS THAN 4).
- SOIL EXPOSED MORE THAN 30 DAYS SHOULD BE COVERED WITH PROPERLY ANCHORED, HEAVY GRADE SHEETS OF POLYETHYLENE. IF NOT POSSIBLE, STOCKPILE SHALL BE COVERED BY 3 TO 6 INCHES OF WOOD CHIPS.
- INSTALL SILT FENCE AT THE TOE OF SLOPE OF THE STOCKPILE.
- SOIL WITH A PH OF 4 OR LESS, OR CONTAINING IRON SULFIDE, SHALL BE BURIED WITH LIMESTONE AT A RATE OF 6 TONS PER ACRE.
- A MINIMUM COVER OF 12 INCHES SHALL BE MET WITH SETTLED SOIL WITH A PH OF 5 OR MORE.
 - MINIMUM COVER OF 24 INCHES IN AREAS WHERE TREES AND SHRUBS ARE PLANTED.
 - DISPOSAL AREAS SHALL NOT BE WITHIN 24 INCHES OF ANY SURFACE OF A SLOPE OR BANK.
- EQUIPMENT USED TO MOVE HIGH ACID SOILS SHOULD BE CLEANED AT THE END OF EACH DAY.
- MONITOR FOR 6 TO 12 MONTHS TO ASSURE STABILIZATION.

TEMPORARY STABILIZATION NOTES

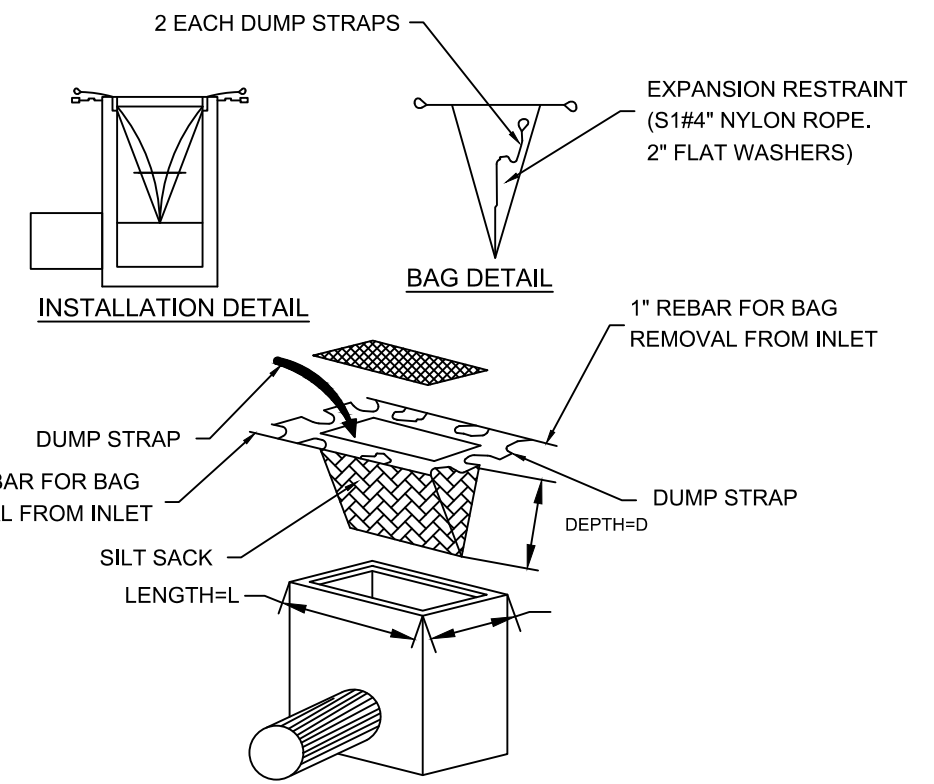
- TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION**
- DISTURBED AREAS SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDED AND HAY MULCHED (OR HYDROSEEDED) UNTIL PROPER WEATHER EXISTS FOR THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER. THE FOLLOWING SEEDING SCHEDULE SHALL BE USED FOR TEMPORARILY SEEDING:
- LIME - 90 lbs/1,000 sf GROUND LIMESTONE.
 - FERTILIZER - 14 lbs/1,000 sf; 10-20-10 OR EQUIVALENT, WITH 50% WATER INSOLUBLE NITROGEN, WORKED INTO SOIL TO A DEPTH OF 4 INCHES.
 - SEED - PERENNIAL RYEGRASS - 100 lbs/acre; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
 - MULCH - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 lbs/1,000 sf; TO BE APPLIED ACCORDING TO NEW JERSEY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDING).
- STABILIZATION WITH MULCH ONLY**
- NON-GROWING STABILIZATION MEASURES SHALL BE USED WHERE THE SEASON AND OTHER CONDITIONS MAY NOT BE SUITABLE FOR GROWING AN EROSION RESISTANT COVER OR WHERE STABILIZATION IS NEEDED FOR A SHORT PERIOD UNTIL MORE SUITABLE PROTECTION CAN BE APPLIED.
- SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 90 TO 115 lbs/1,000 sf TO BE APPLIED ACCORDING TO THE NEW JERSEY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, LIQUID MULCH BINDER, OR MULCH NETTING).

DUST CONTROL NOTES

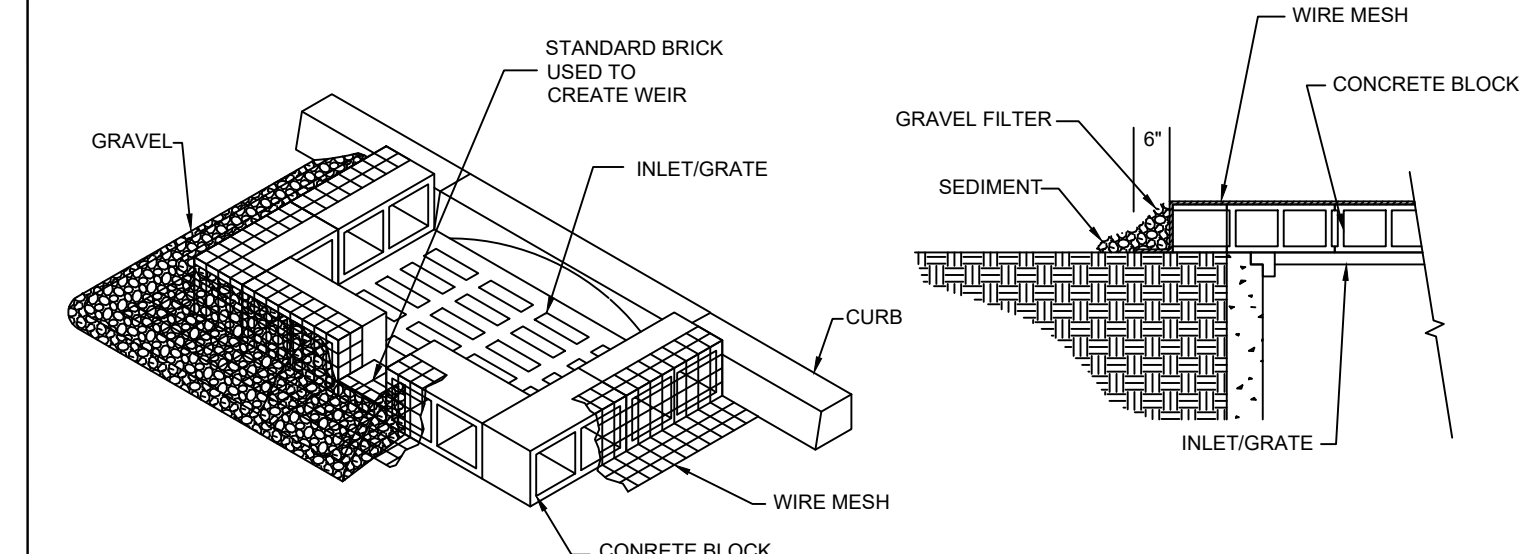
- THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:
- MULCHES** - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 5-1
- VEGETATIVE COVER** - SEE STANDARD FOR: TEMPORARY VEGETATIVE COVER, PG. 7-1, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION PG. 4-1 AND PERMANENT STABILIZATION WITH SOD, PG. 6-1
- SPRAY-ON ADHESIVES** - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS), KEEP TRAFFIC OFF THESE AREAS.
- DUST CONTROL MATERIALS**
- | MATERIAL | WATER DILUTION | TYPE OF NOZZLE | APPLY GALLONS/ACRE |
|-------------------------------|----------------|----------------|--------------------|
| ANIONIC ASPHALT EMULSION | 7:1 | COARSE SPRAY | 1200 |
| LATEX EMULSION | 12.5:1 | FINE SPRAY | 235 |
| RESIN IN WATER | 4:1 | FINE SPRAY | 300 |
| ADJULATED SOY BEAN SOAP-STICK | NONE | COARSE SPRAY | 1200 |
- POLYACRYLAMIDE (PAM) - SPRAY ON MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS
POLYACRYLAMIDE (PAM) - DRY SPREAD FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS
SEE SEDIMENT BASIN STANDARD, P. 26-1
- TILLAGE** - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN FLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- SPRINKLING** - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
- BARRIERS** - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
- CALCIUM CHLORIDE** - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
- STONE** - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.



CONSTRUCTION ENTRANCE



INLET PROTECTION - SILT BAG



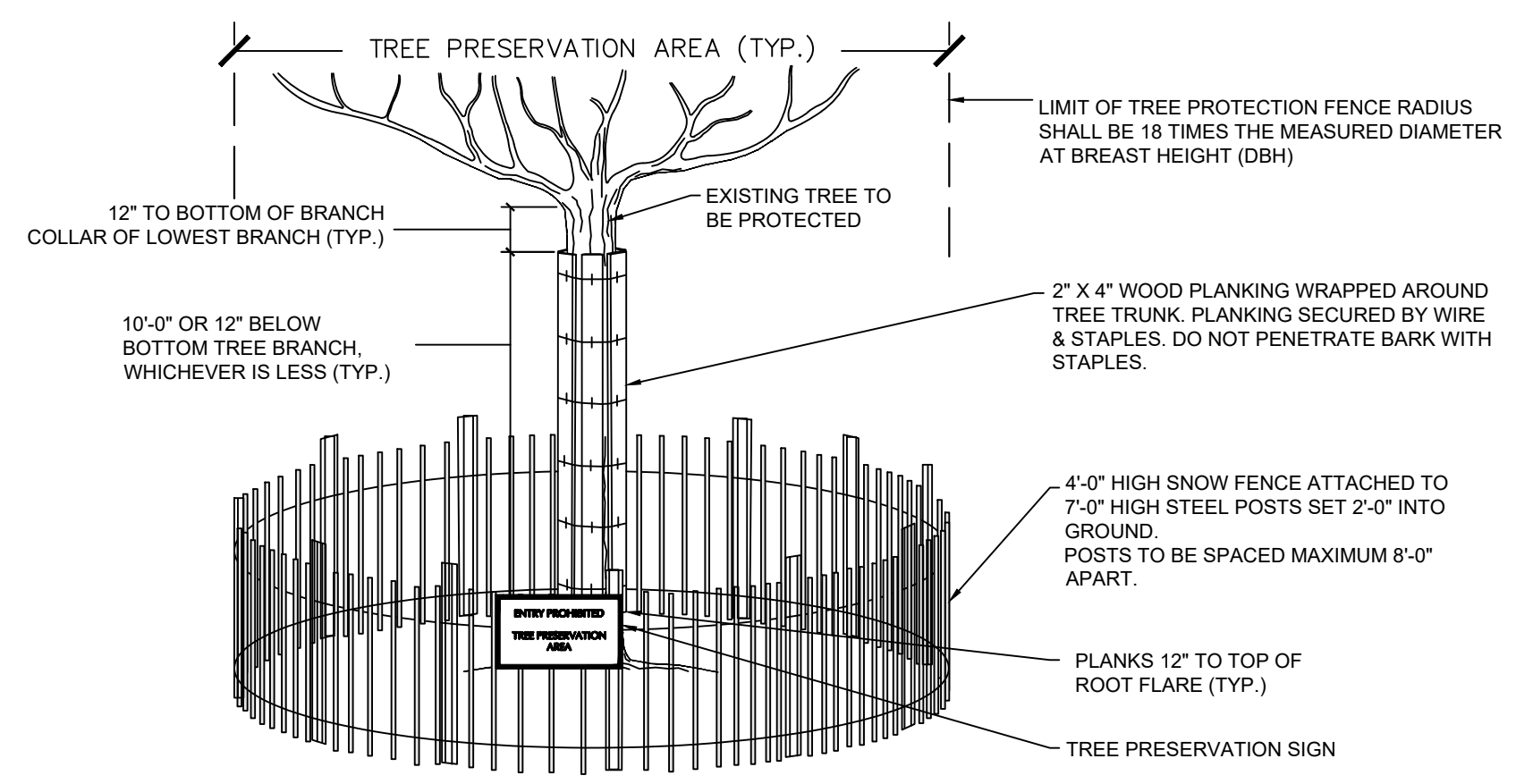
CONSTRUCTION SPECIFICATIONS

- LAY CONCRETE BLOCKS ON SIDES ALONG OUTER EDGE OF GRATE. FOR CURB INLET LAY BLOCKS ALONG 3 SIDES AND BUTT BLOCKS UP AGAINST CURB PIECE.
- PLACE 1/2" WIRE MESH ALONG BLOCK OPENINGS, WRAPPED OVER TOP OF BLOCKS AND EXTEND A MINIMUM OF SIX INCHES FROM FACE OF BLOCKS, AS SHOWN, TO SUPPORT STONE.
- USE CLEAN CRUSHED GRAVEL 3/8 - 1/2 INCH IN DIAMETER PLACED ALONG WIRE MESH/BLOCK OPENINGS AT A WIDTH OF AT LEAST 12 INCHES.
- USING STANDARD BRICK CREATE WEIR ALONG FRONT FACE, AS SHOWN, TO ALLOW FLOW FROM STORM EVENTS GREATER THAN THE 1 YR-24 HR STORM TO PASS FREELY.
- CLEAN SEDIMENT DEPOSITS AFTER EVERY STORM.

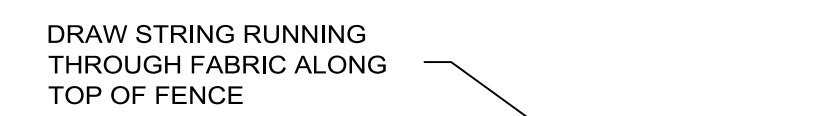
INLET PROTECTION

TREE PROTECTION NOTES

- ALL EXISTING TREES WITHIN THE LIMITS OF TREE PROTECTION FENCING SHALL BE PROTECTED THROUGHOUT THE DURATION OF WORK. THE LIMIT OF TREE PROTECTION FENCE RADIUS SHALL BE 18 TIMES THE MEASURED DIAMETER-AT-BREAST-HEIGHT (DBH), UNLESS CONDITIONS WARRANT THE FENCE TO BE LOCATED CLOSER TO THE TREE. THE PROJECT LANDSCAPE ARCHITECT TO APPROVE THE LOCATION OF ALL FENCING PRIOR TO EXCAVATION.
- TREE PROTECTION PLANKING SHALL BE INSTALLED ON ALL EXISTING TREES WHERE WORK IS TO BE DONE WITHIN THE LIMIT OF TREE PROTECTION FENCING. REFER TO DETAIL ON THIS SHEET.
- IF TREE PROTECTION FENCING NEEDS TO BE MOVED OR BREACHED DUE TO TEMPORARY CONSTRUCTION ACTIVITY WITHIN THE TREE PROTECTION ZONE, THE FENCING WILL BE RESET TO ITS ORIGINAL LOCATION IMMEDIATELY AFTER CONSTRUCTION WITHIN THE TREE PROTECTION ZONE IS COMPLETE.
- TREE PROTECTION FENCING SHALL BE MAINTAINED TO PROTECT TREES AT ALL TIMES. ANY DAMAGED FENCING SHALL BE IMMEDIATELY REPLACED WHEN DAMAGED.
- DEMOLITION WORK WITHIN THE DRIP-LINE OF PROTECTED TREES SHALL BE PERFORMED BY NON-MECHANICAL METHODS. CONTRACTOR TO PROTECT ROOT MASS AGAINST DAMAGE DURING EXCAVATION. ANY TREE ROOTS THAT ARE DISTURBED, BROKEN, OR CUT SHALL BE PRUNED BACK WITH CLEAN SHARP TOOLS.
- ALL EXPOSED TREE ROOTS SHALL BE THOROUGHLY IRRIGATED ON A DAILY BASIS AS DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.
- ALL WORK TO BE PERFORMED UNDER THE DIRECT SUPERVISION OF EITHER THE OWNER'S REPRESENTATIVE OR THE PROJECT LANDSCAPE ARCHITECT.

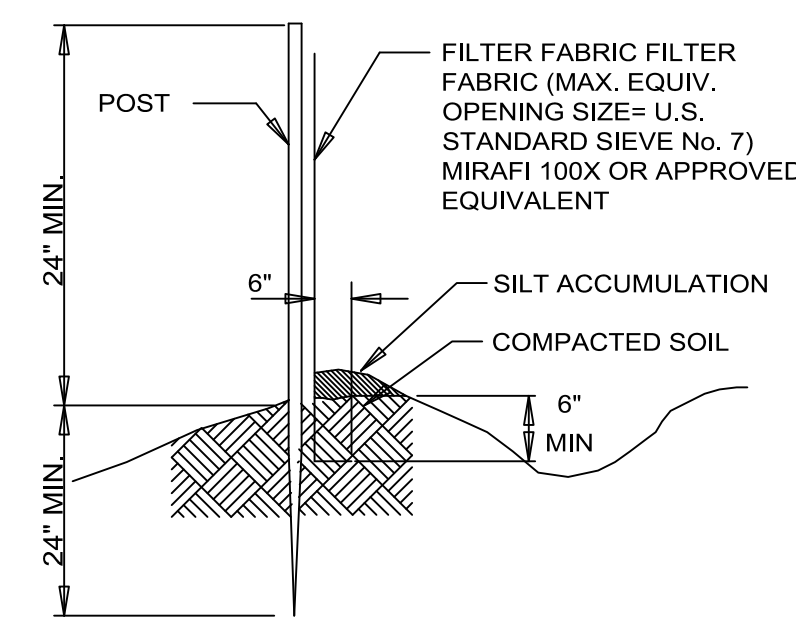


TREE PROTECTION FENCING AND TREE PLANKING



METHOD OF INSTALLATION

- CONTRACTOR TO DIG 6" MIN. TRENCH AND LINE TRENCH WITH FILTER FABRIC PRIOR TO BACK FILL.
- EXCEPT FOR THE END POST, DRIVE ALL POSTS INTO THE GROUND AT BACK SIDE OF TRENCH SPACED A MAXIMUM OF 8 FT O.C.
- ATTACH FILTER FABRIC TO POST AND STRETCH BETWEEN POSTS. SECURE FABRIC TO POST WITH METAL FASTENER AND REINFORCEMENT MATERIAL PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC.
- POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1-1/2 INCHES.



SILT FENCE


 3/11/2021
 KEVIN WEBB
 PROFESSIONAL ENGINEER
 NJ Lic. No. 24GE04075100

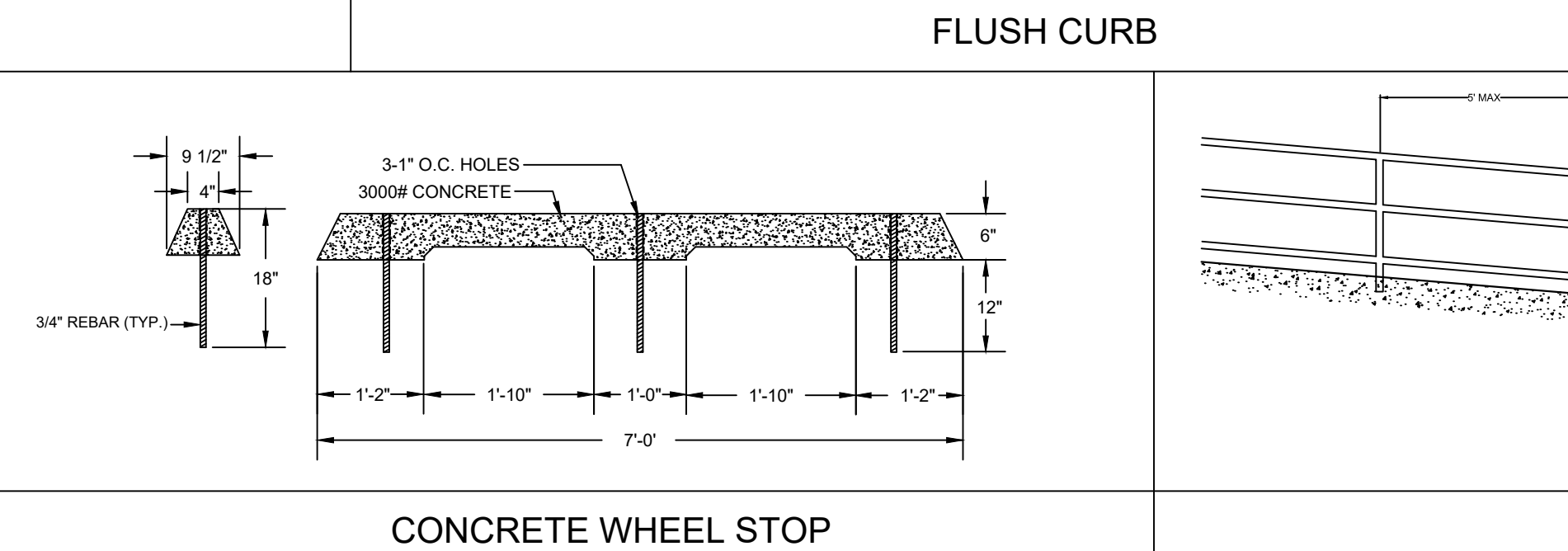
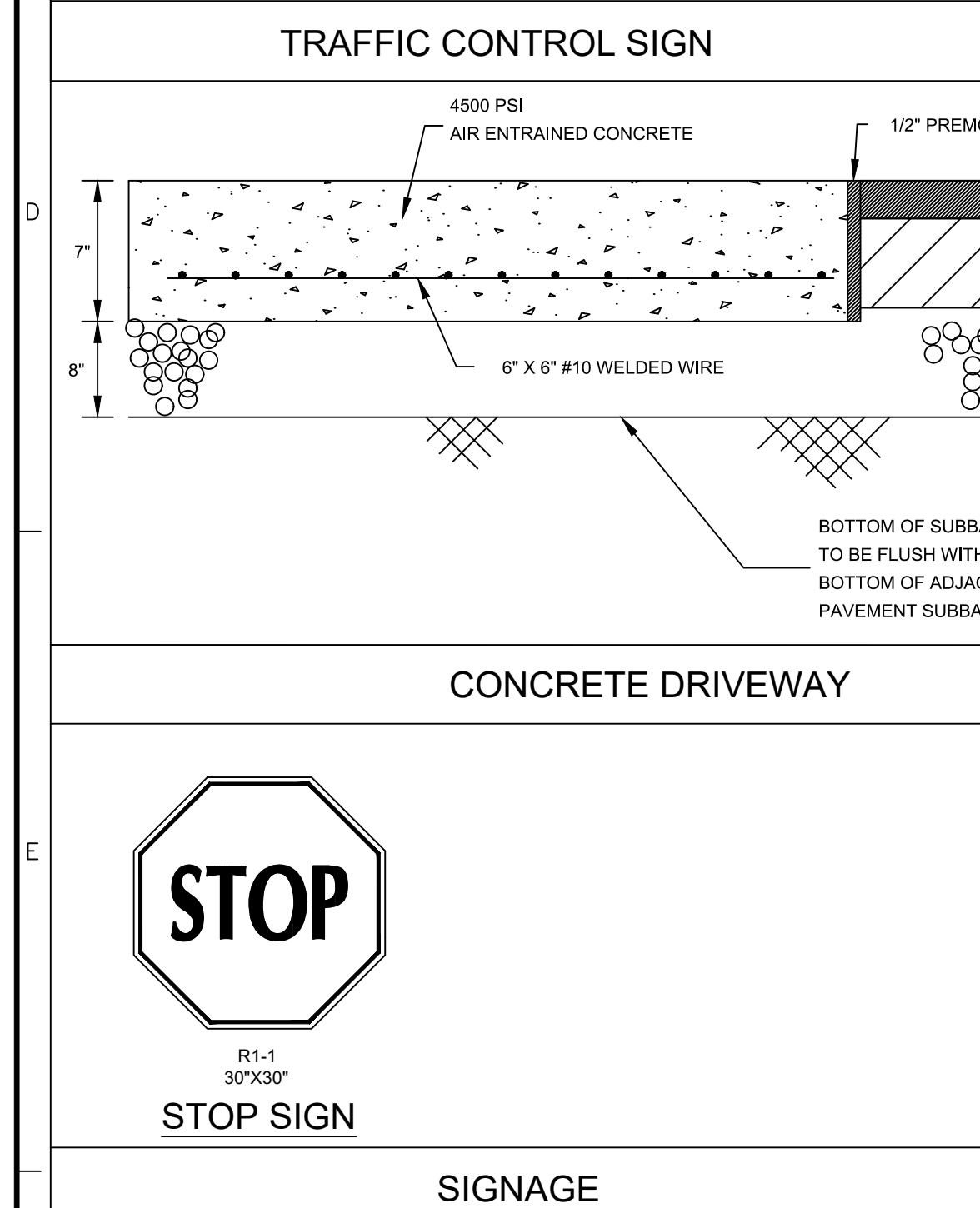
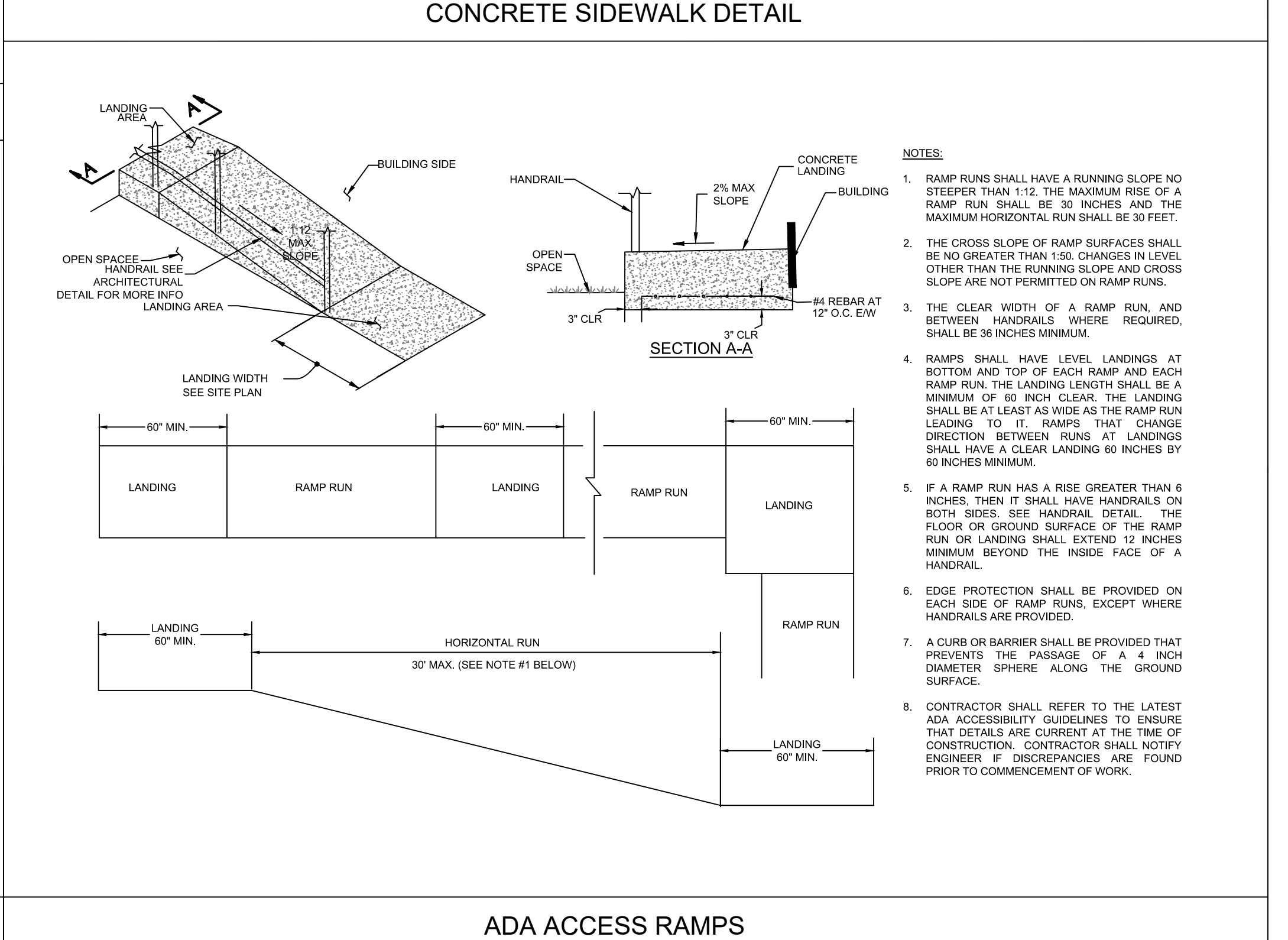
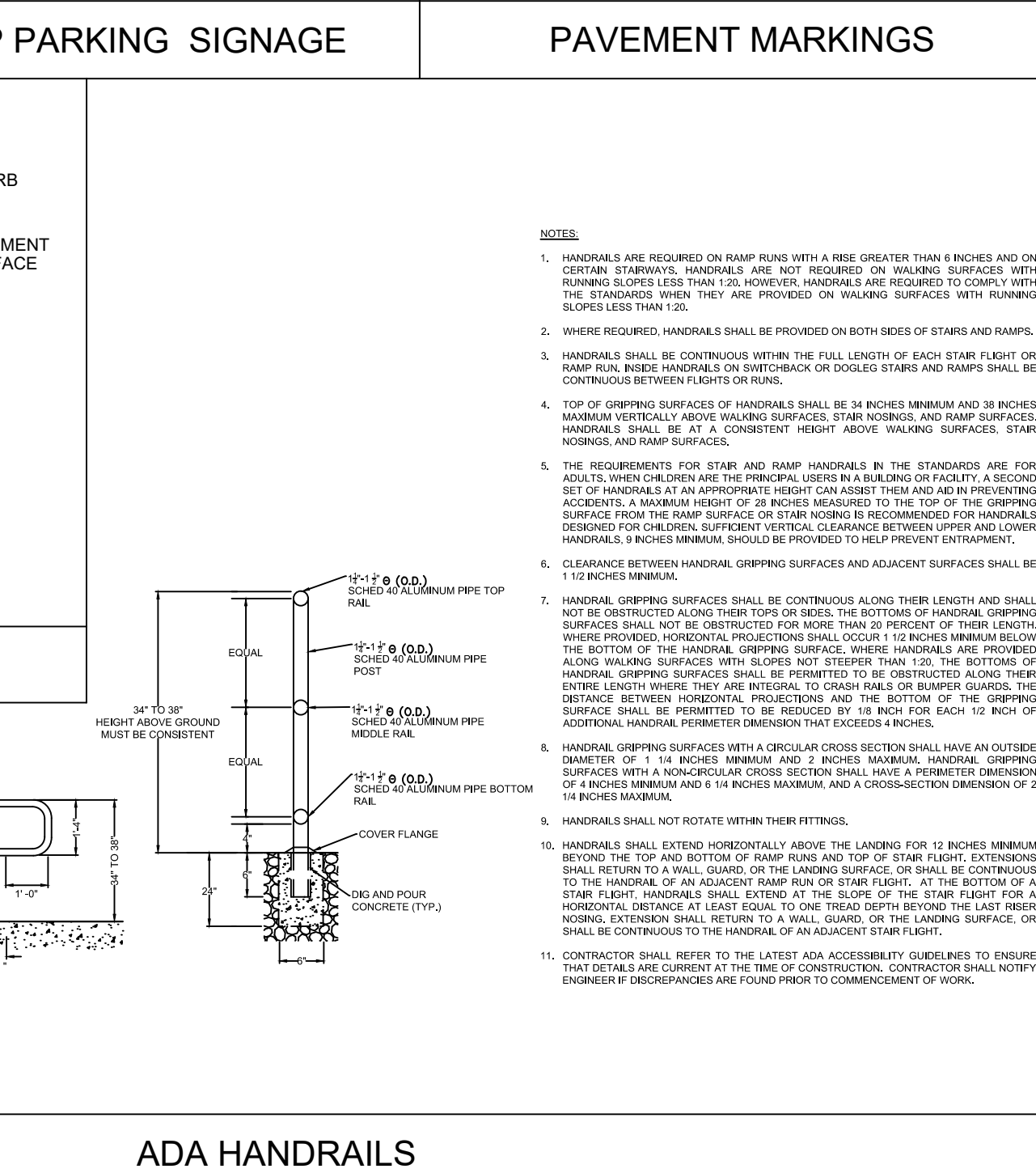
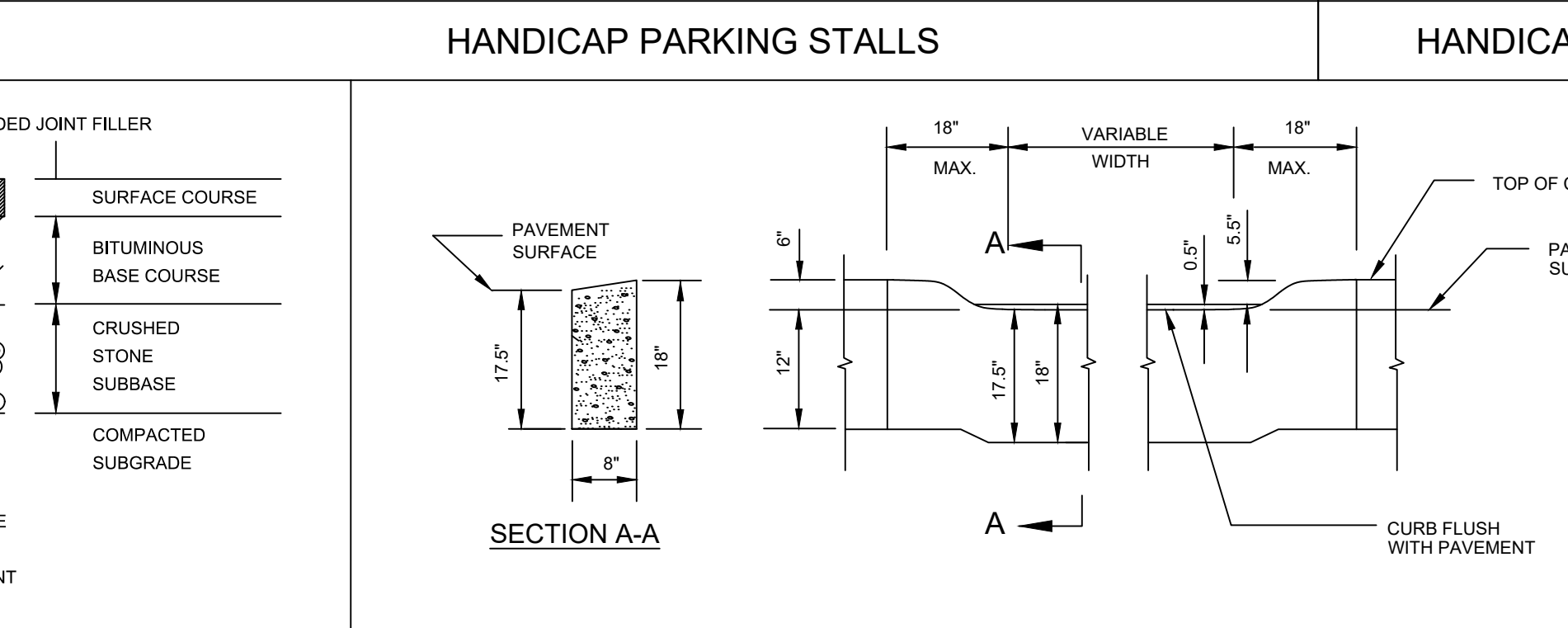
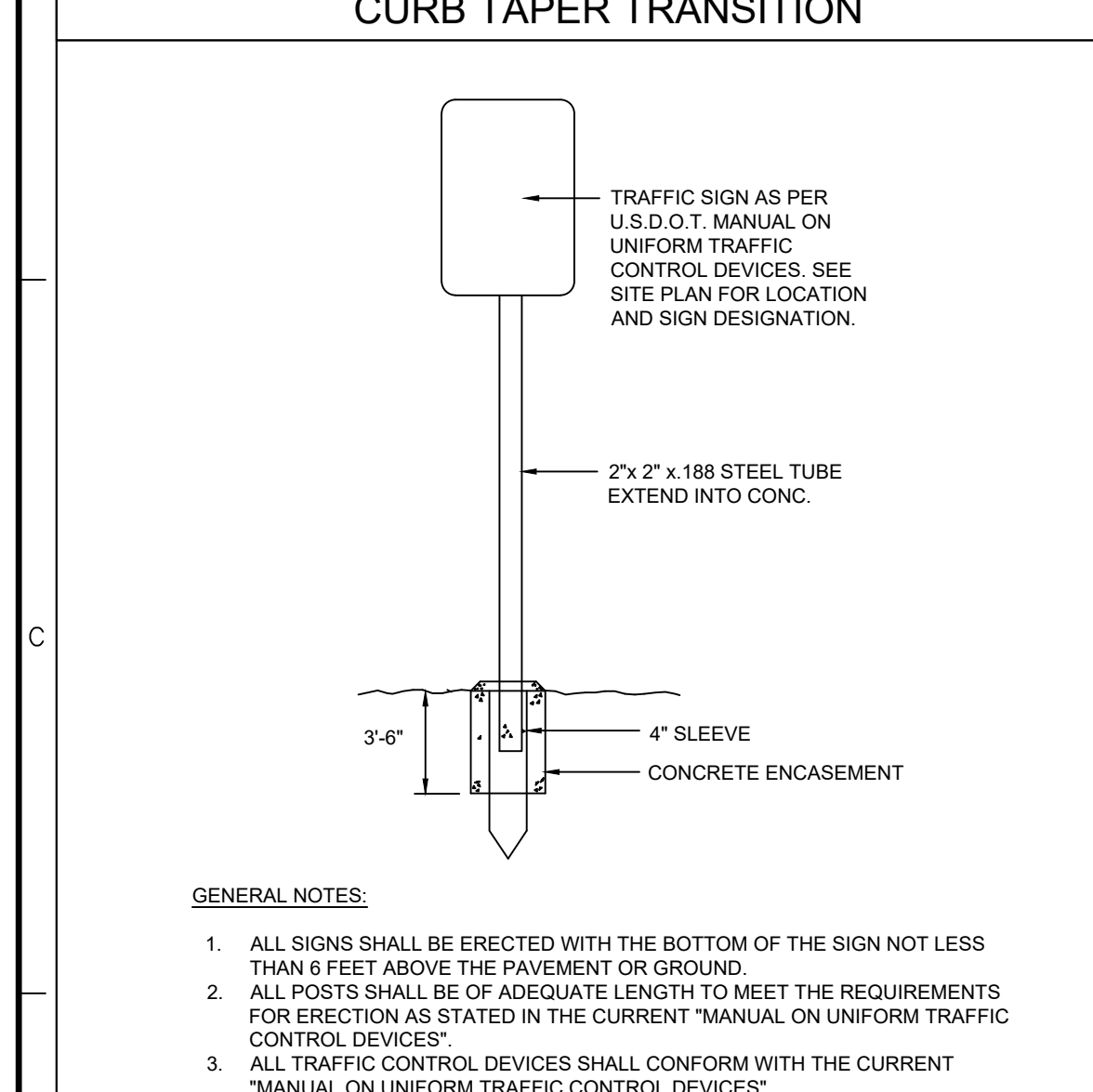
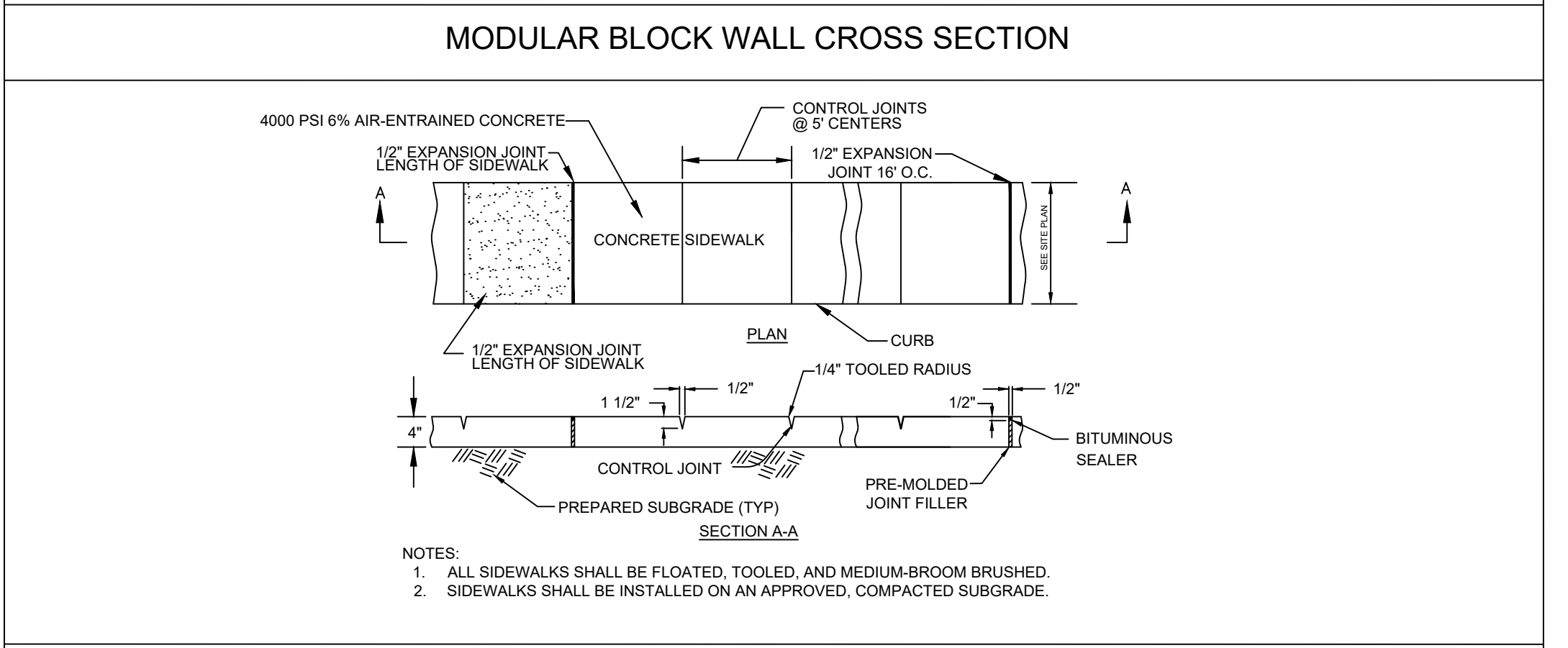
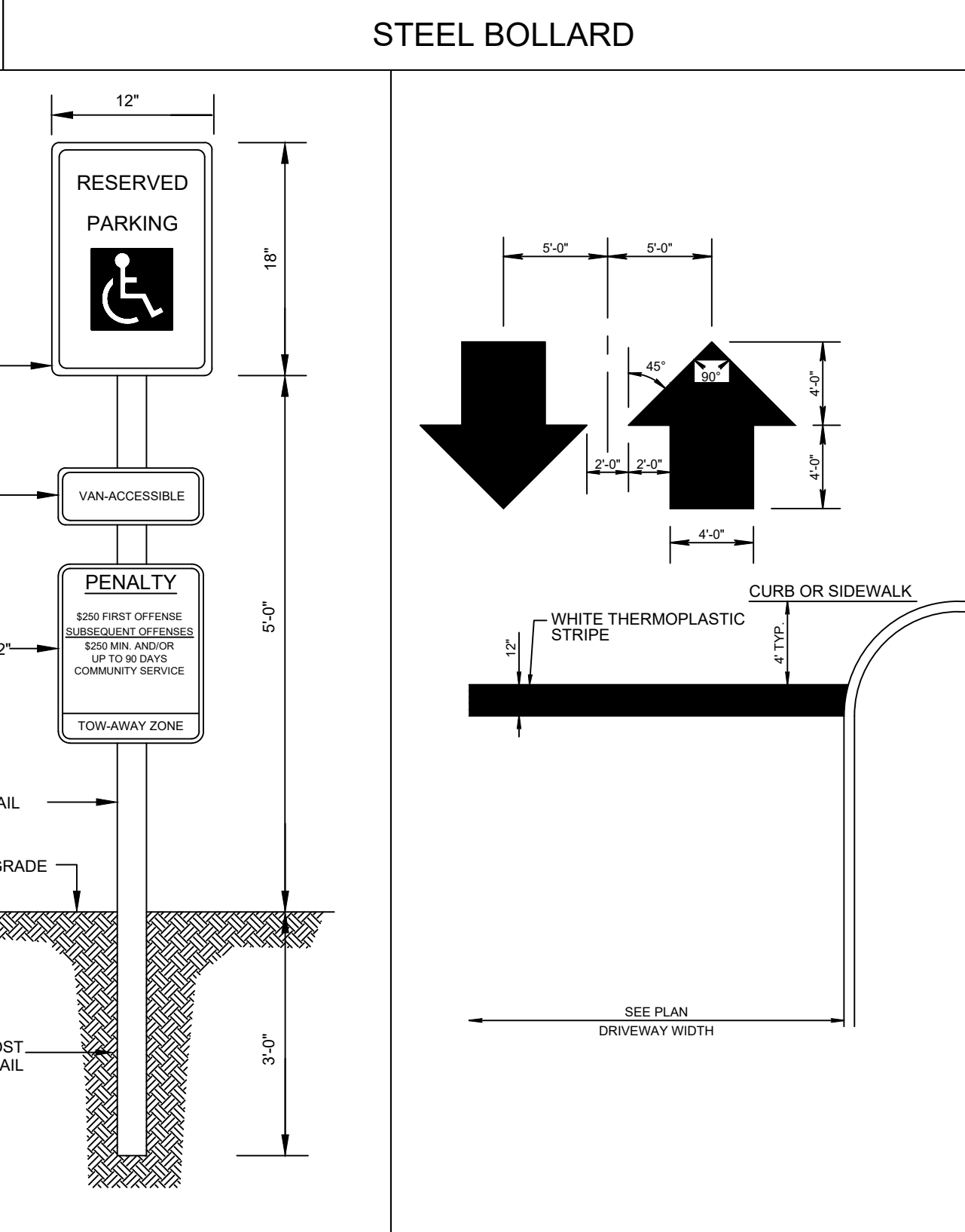
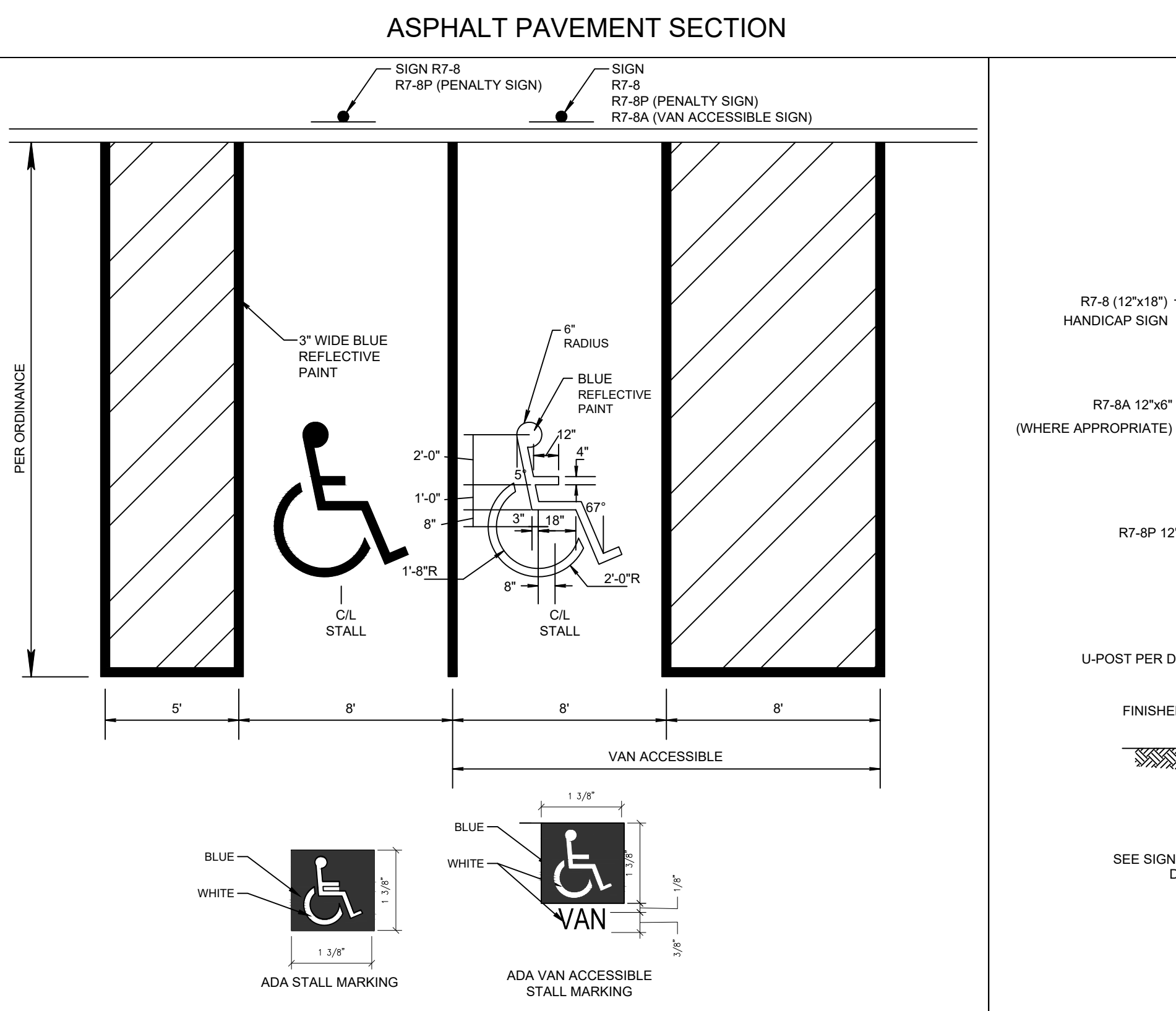
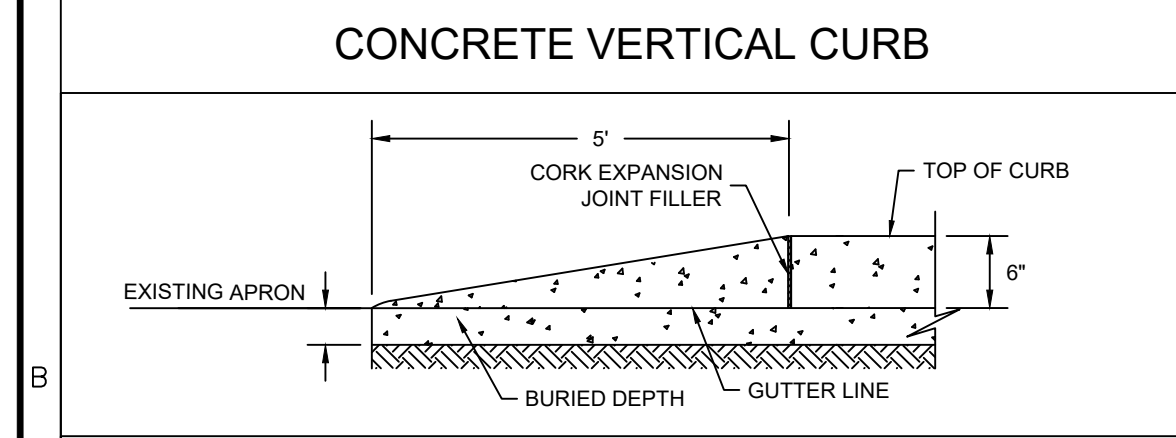
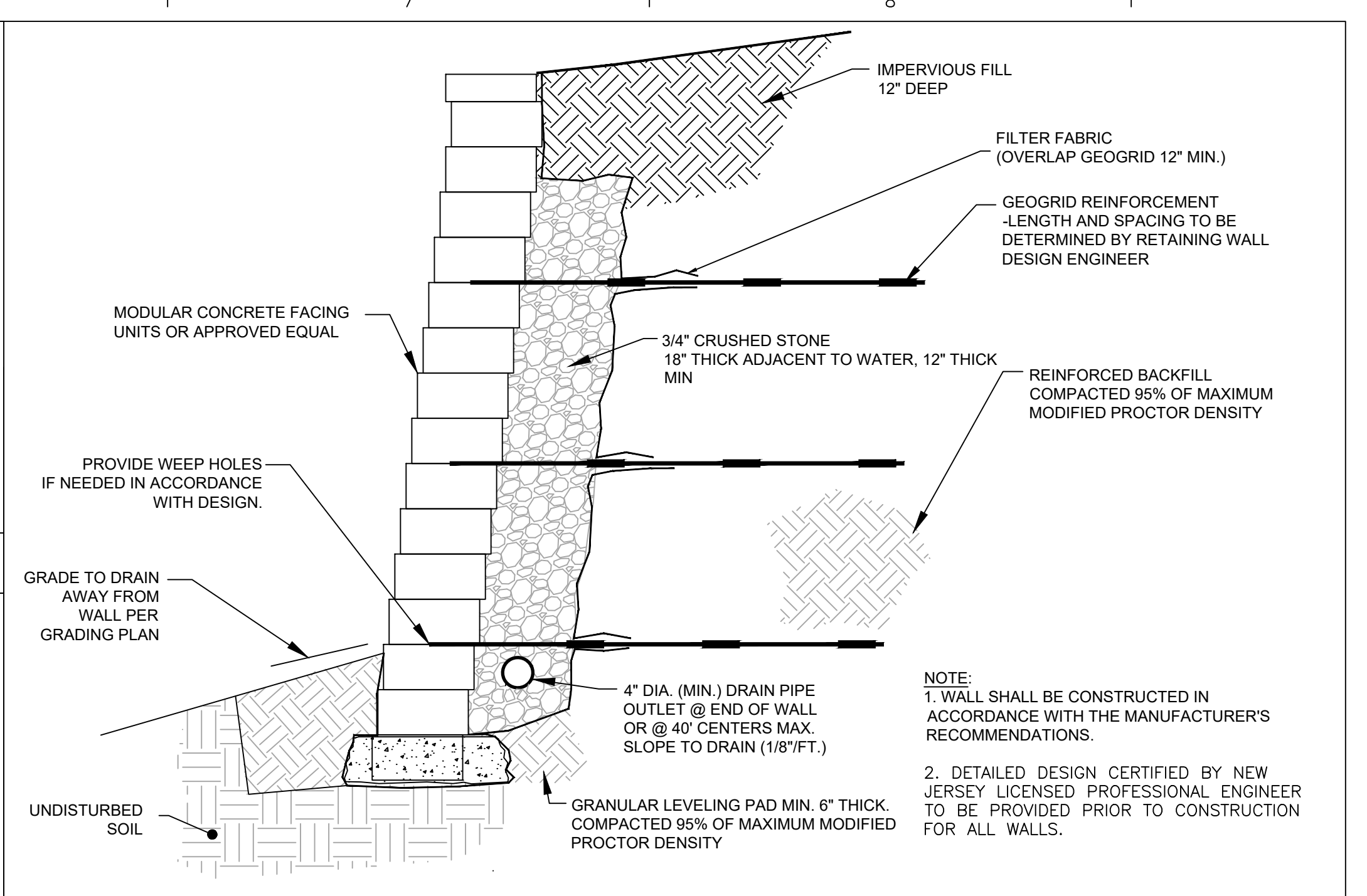
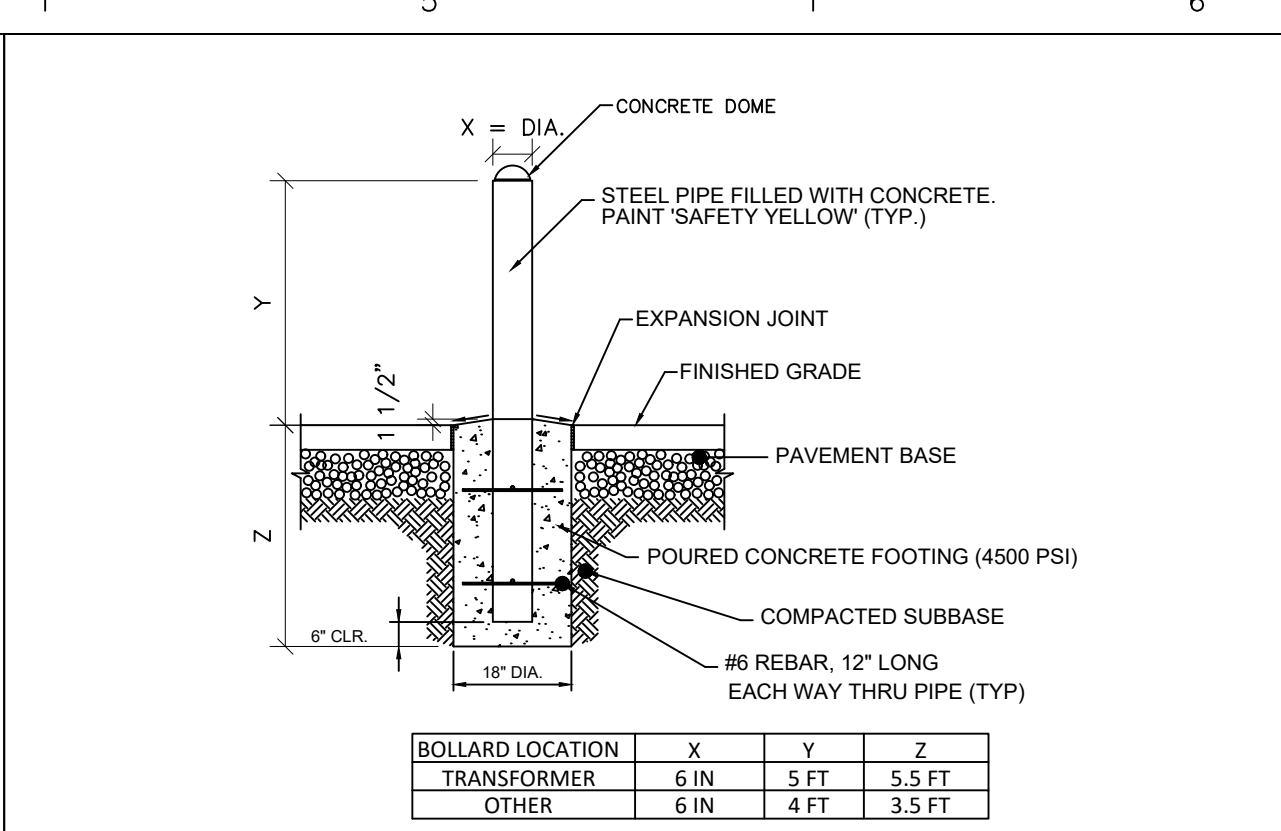
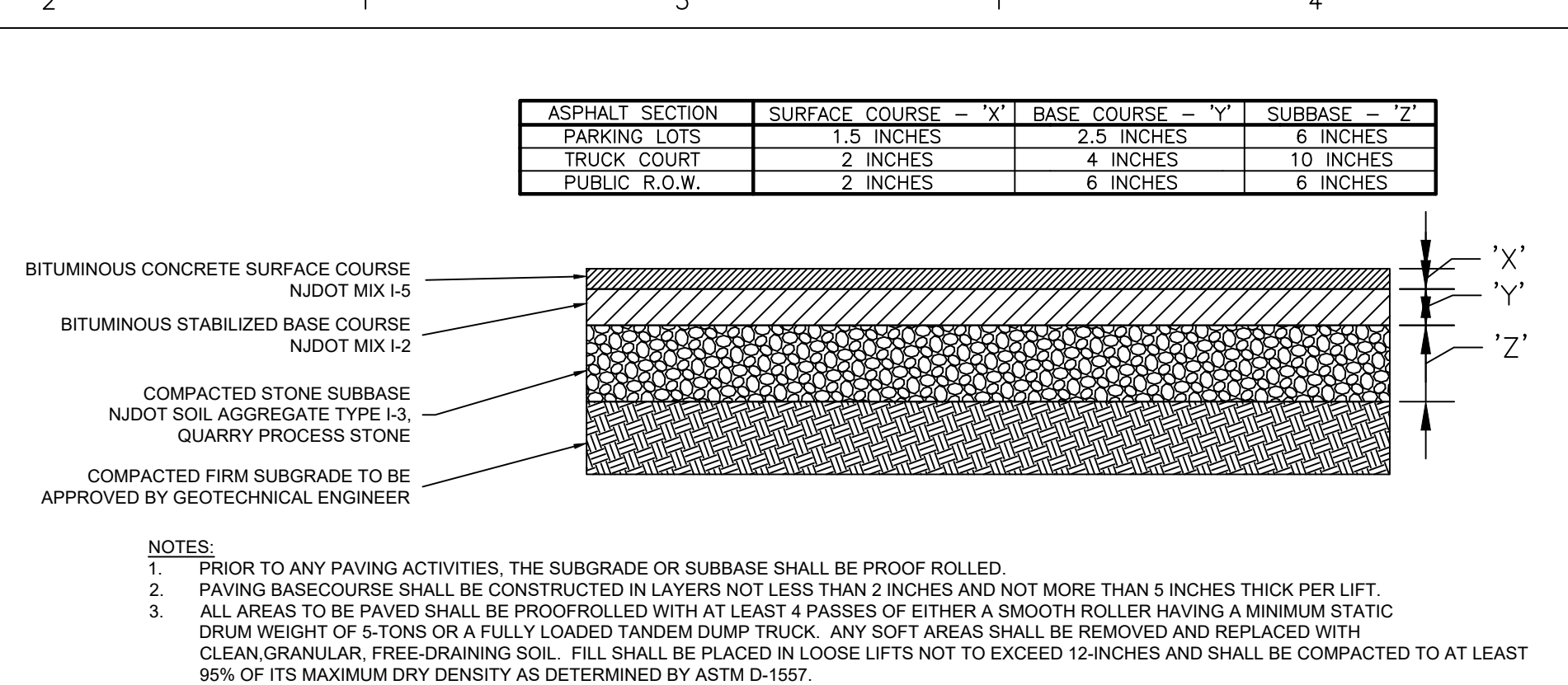
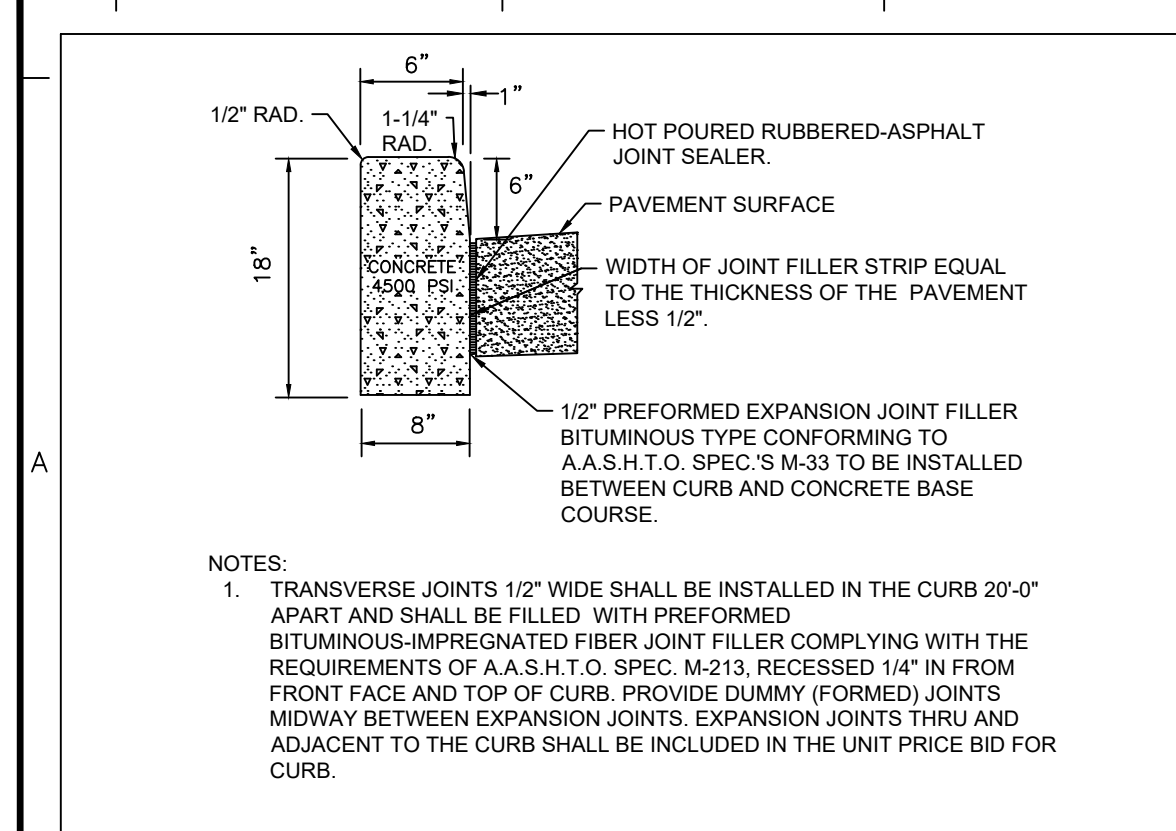
Date	Description	No.
	REVISIONS	

LANGAN
 Langan Engineering and
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 989 Lenox Drive, Suite 124
 Lawrenceville, NJ 08648
 T: 609.282.8000 F: 609.282.8001 www.langan.com
 NJ CERTIFICATE OF AUTHORIZATION NO. 24GA27986400

Project
30 CROSS STREET
 BLOCK 113 / LOTS 7, 7.01, 7.02, 7.03, 8, 8.01, 8.02 (BOGOTA)
 BLOCK 152.01 / LOTS 1, 1.01, 2 (RIDGEFIELD PARK)
 BOROUGH OF BOGOTA / VILLAGE OF RIDGEFIELD PARK
 BERGEN COUNTY NEW JERSEY

Drawing Title
SOIL EROSION & SEDIMENT CONTROL PLAN

Project No. 130148001	Drawing No. CE501
Date 03/03/2021	
Drawn By HYL	
Checked By KWJ	
Sheet 14 of 19	



LANGAN
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NJ CERTIFICATE OF AUTHORIZATION NO. 24G24796400

3/11/2021

KEVIN WEBB
PROFESSIONAL ENGINEER
NJ Lic. No. 24G04075100

Project
30 CROSS STREET
BLOCK 113 / LOTS 7, 01, 7.02, 7.03, 8, 8.01, 8.02 (BOGOTA)
BLOCK 152.01 / LOTS 1, 1.01, 2 (RIDGEFIELD PARK)
BOROUGH OF BOGOTA / VILLAGE OF RIDGEFIELD PARK
BERGEN COUNTY NEW JERSEY

Drawing Title
CONSTRUCTION DETAILS 1

Project No.
130148001

Date
03/03/2021

Drawn By
HYL

Checked By
KW

Drawing No.
CS501

Sheet 15 of 19

Date	Description	No.
	REVISIONS	

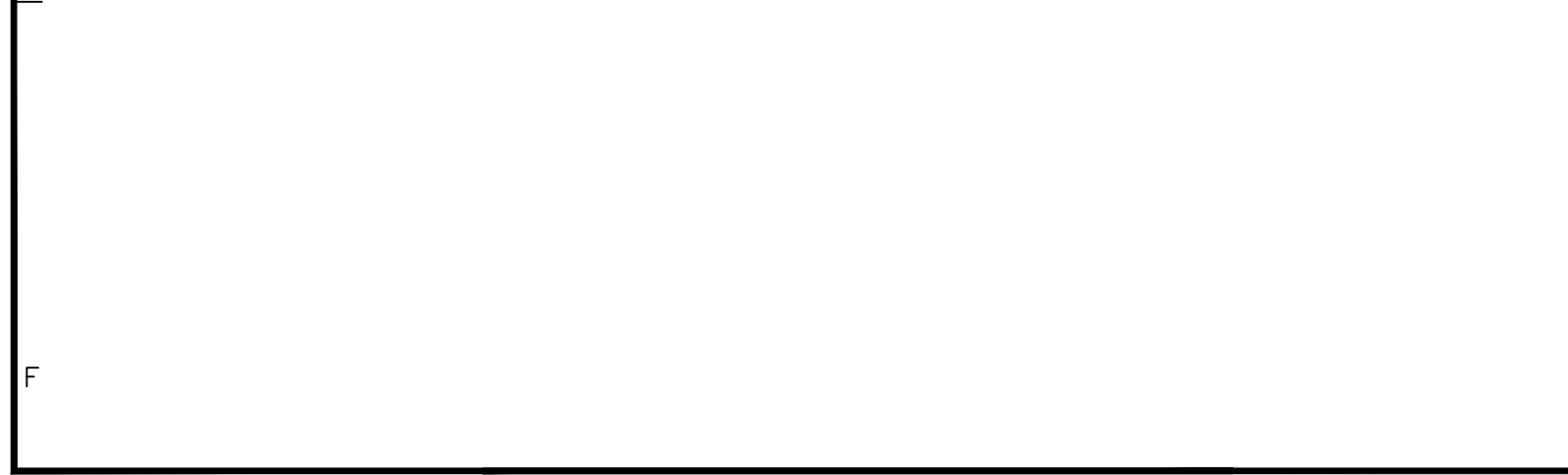
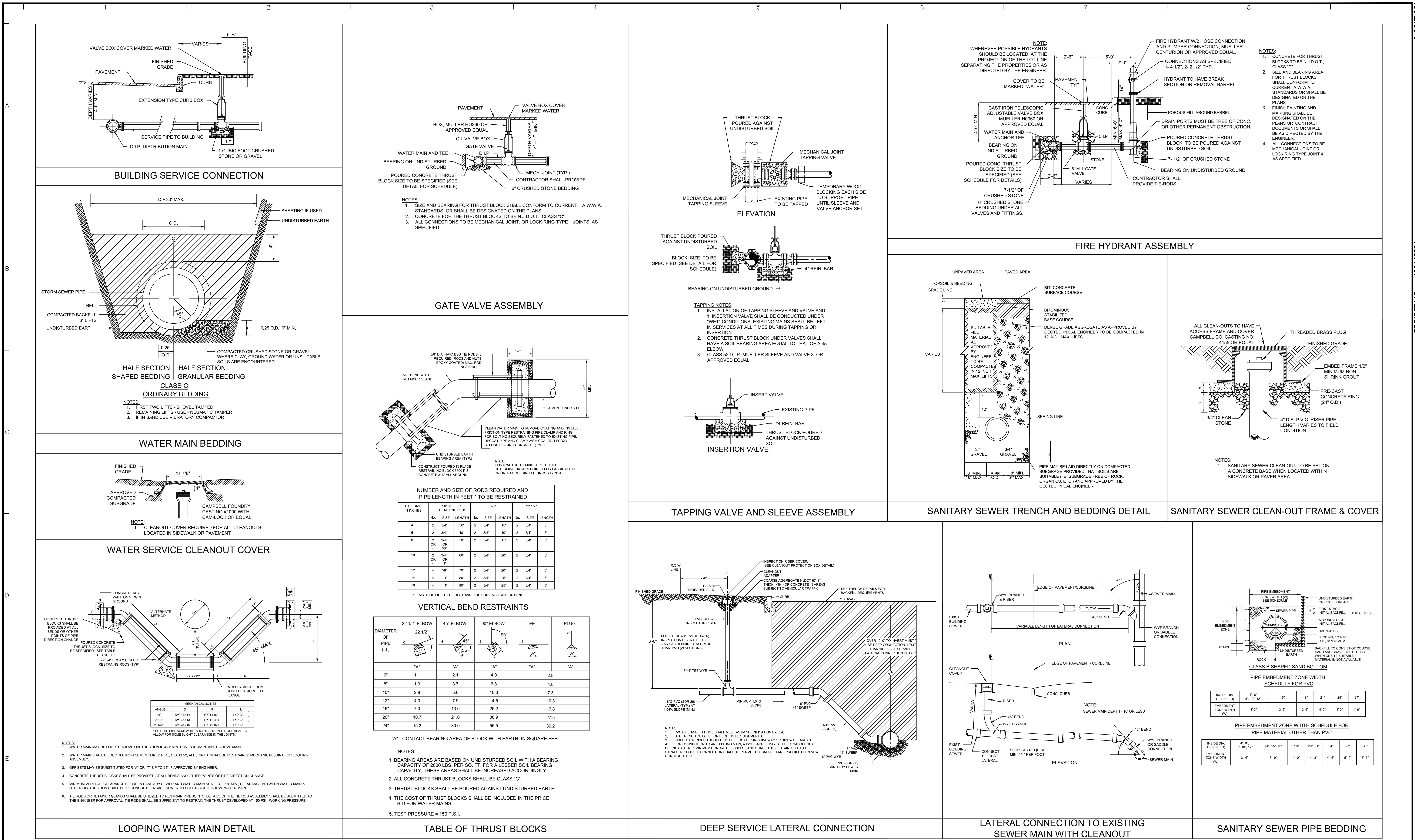


TABLE OF THRUST BLOCKS

NUMBER AND SIZE OF RODS REQUIRED AND PIPE LENGTH IN FEET * TO BE RESTRAINED

PIPE SIZE IN INCHES	90° TEE OR DEAD END PLUG		45°		22 1/2°	
	No.	SIZE	No.	SIZE	No.	SIZE
4	2	3/4"	2	3/4"	2	3/4"
6	2	3/4"	2	3/4"	2	3/4"
8	2	3/4"	2	3/4"	2	3/4"
10	2	3/4"	2	3/4"	2	3/4"
12	4	7/8"	2	3/4"	2	3/4"
14	4	1"	2	3/4"	2	3/4"
16	4	1"	2	3/4"	2	3/4"

* LENGTH OF PIPE TO BE RESTRAINED IS FOR EACH SIDE OF BEND

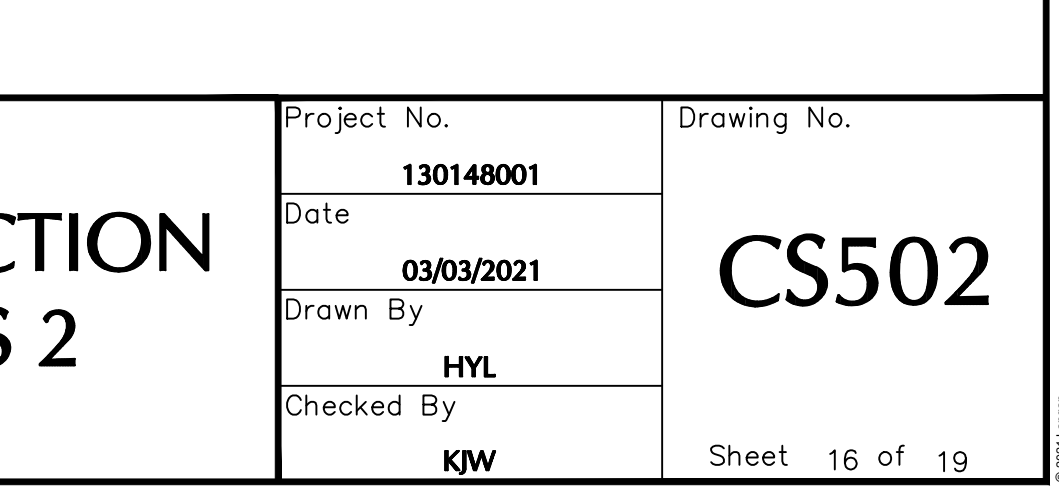
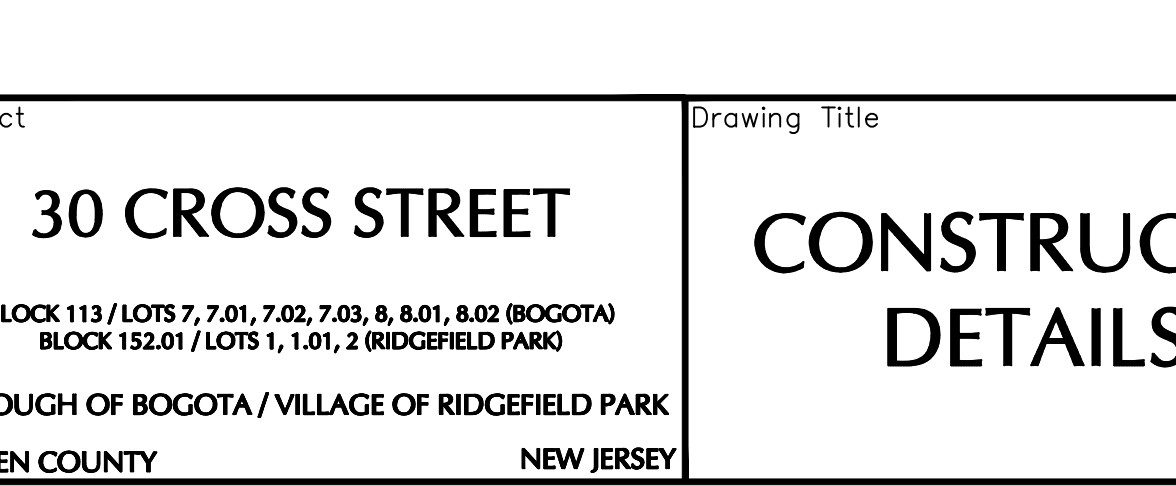
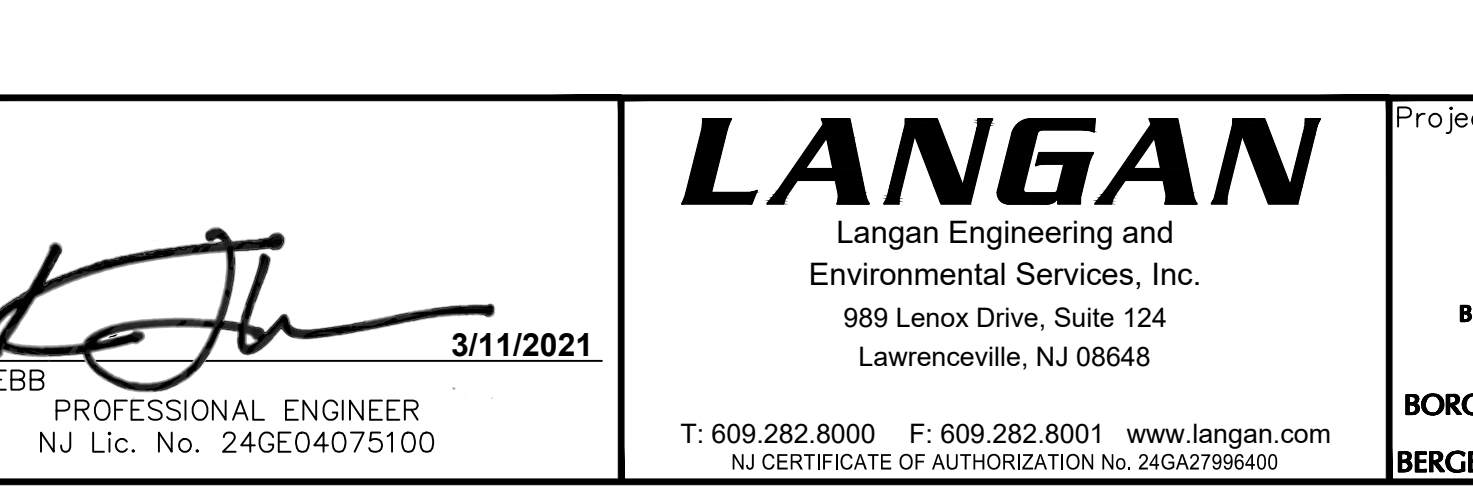
VERTICAL BEND RESTRAINTS

DIAMETER OF PIPE (d)	22 1/2° ELBOW	45° ELBOW	90° ELBOW	TEE	PLUG
6"	1.1	2.1	4.0		2.8
8"	1.9	3.7	6.8		4.8
10"	2.8	5.6	10.3		7.3
12"	4.0	7.9	14.5		10.3
16"	7.0	13.6	25.2		17.8
20"	10.7	21.0	38.9		27.5
24"	15.3	30.0	55.5		39.2

A - CONTACT BEARING AREA OF BLOCK WITH EARTH, IN SQUARE FEET

NOTES:

- BEARING AREAS ARE BASED ON UNDISTURBED SOIL WITH A BEARING CAPACITY OF 2000 LBS. PER SQ. FT. FOR A LESSER SOIL BEARING CAPACITY, THESE AREAS SHALL BE INCREASED ACCORDINGLY.
- ALL CONCRETE THRUST BLOCKS SHALL BE CLASS "C".
- THRUST BLOCKS SHALL BE POURED AGAINST UNDISTURBED EARTH.
- THE COST OF THRUST BLOCKS SHALL BE INCLUDED IN THE PRICE BID FOR WATER MAINS.
- TEST PRESSURE = 150 P.S.I.



Date	Description	No.
REVISIONS		

KEVIN WEBB
PROFESSIONAL ENGINEER
NJ Lic. No. 24GE04075100

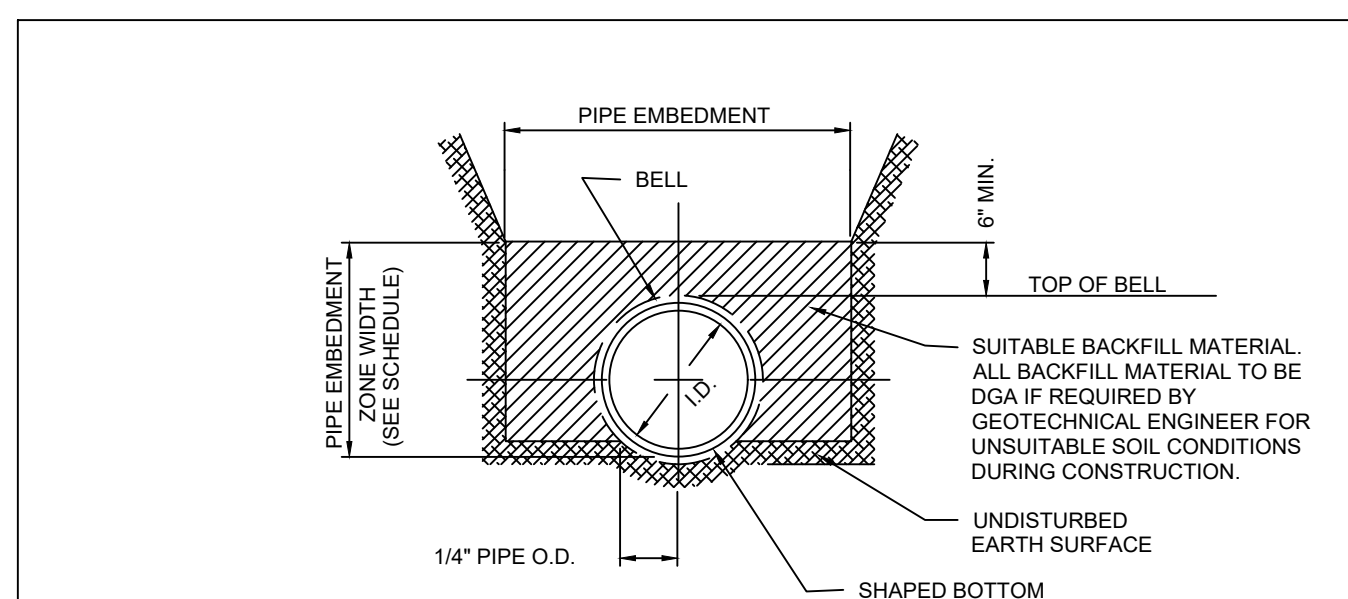
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BERGEN COUNTY NEW JERSEY

Drawing Title
CONSTRUCTION DETAILS 2

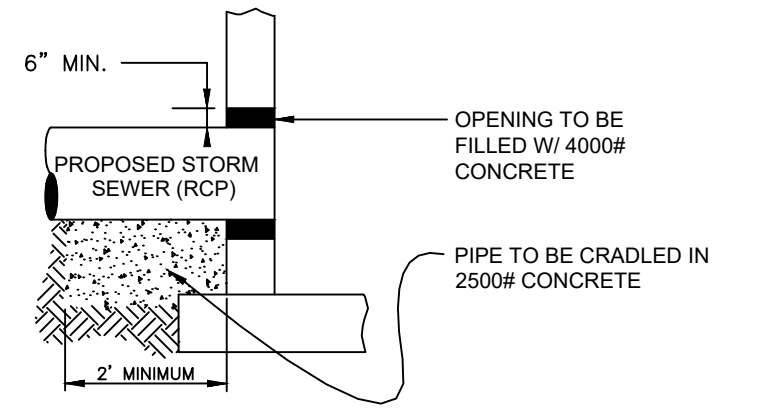
Project No.
130148001
Date
03/03/2021
Drawn By
HYL
Checked By
KW
Drawing No.
CS502
Sheet 16 of 19

PROJECT NO. 130148001

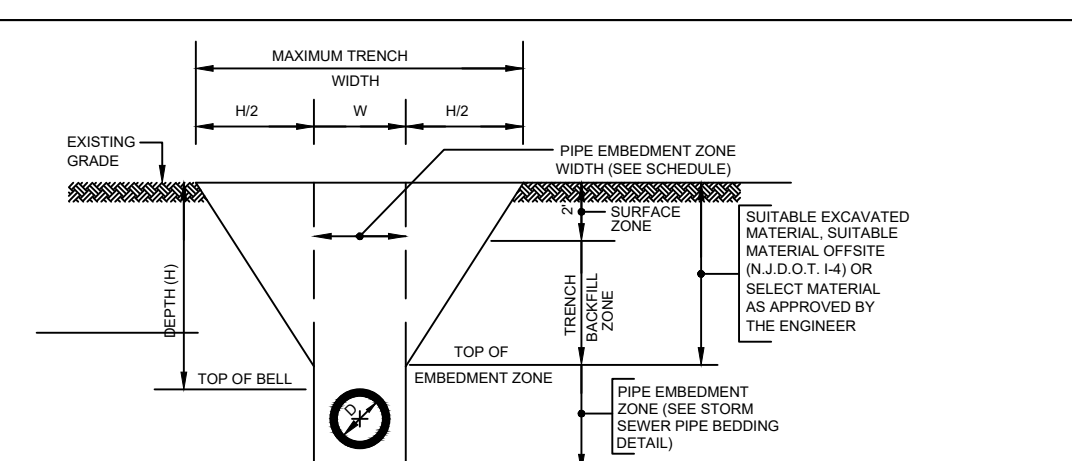


INSIDE DIA. OF PIPE (D)	4", 6", 8", 10", 12"	14", 15", 16"	18"	20", 21"	24"	27"	30"
EMBEDMENT ZONE WIDTH (W)	3'-6"	3'-9"	4'-0"	4'-3"	4'-6"	5'-0"	5'-3"

PIPE EMBEDMENT ZONE WIDTH SCHEDULE FOR PIPE MATERIAL OTHER THAN PVC



STORM SEWER - CONNECT TO EXISTING INLET



TRENCH DETAIL

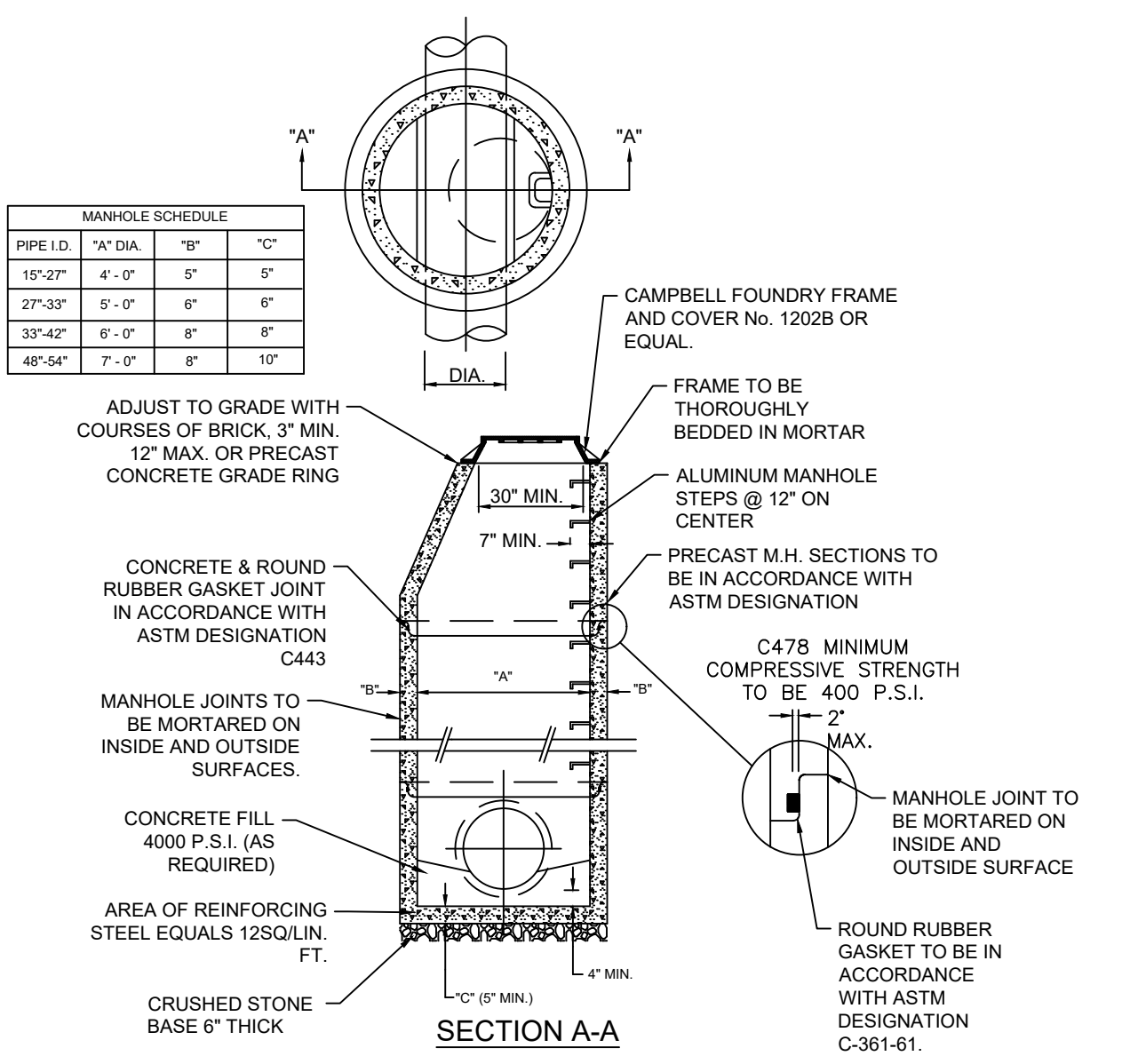
INSIDE DIA. OF PIPE (D)	4", 6"	8", 10", 12"	14", 15", 16"	18"	20", 21"	24"	27"	30"
EMBEDMENT ZONE WIDTH (W)	3'-6"	3'-9"	4'-0"	4'-3"	4'-6"	5'-0"	5'-3"	
INSIDE DIA. OF PIPE (D)	30"	42"	48"	54"	60"	66"	72"	78"
EMBEDMENT ZONE WIDTH (W)	5'-9"	6'-3"	6'-9"	7'-3"	7'-9"	8'-3"	8'-9"	9'-3"

PIPE EMBEDMENT ZONE WIDTH SCHEDULE FOR PIPE MATERIAL OTHER THAN HDPE

- TRENCH EXCAVATION AND BACKFILL NOTES**
- THE MAXIMUM DEPTHS SHALL BE DETERMINED IN ACCORDANCE WITH ASTM DESIGNATION D1957. THE MINIMUM PERCENTAGE OF COMPACTION TO BE ACHIEVED BY THE CONTRACTOR IN THE VARIOUS ZONES IS AS FOLLOWS:

SURFACE ZONE	PIPE MATERIAL	LOCATION	INITIAL COMPACTION
TRENCH BACKFILL ZONE	ALL	ALL	90%
PIPE EMBEDMENT ZONE	ALL	ALL	95%
 - THE PIPE EMBEDMENT ZONE WIDTH AND THE MAXIMUM TRENCH WIDTH SHALL NOT EXCEED THE PERMISSIBLE WIDTHS SHOWN. IF THE PERMISSIBLE WIDTH IS EXCEEDED, THE PIPE SHALL BE INSTALLED IN A HIGHER CLASS BEDDING THAN SHOWN ON THIS DRAWING OR THE SPECIFIED PIPE SHALL BE REPLACED WITH PIPE OF GREATER DRUGGING STRENGTH OR BOTH TO ACHIEVE SUITABLE CONDITIONS.
 - SUITABLE MATERIAL FROM EXCAVATION SHALL BE FREE FROM OBJECTIONABLE QUANTITIES OF ORGANIC MATTER, CLAY, TREES, STUMPS, FROZEN MATERIAL, RUBBLE, CONDS, ROCKS, AND OTHER MATERIALS CONSIDERED DELETERIOUS BY THE ENGINEER AND SHALL NOT HAVE FINES IN EXCESS OF 10 PERCENT PASSING THE NO. 200 SIEVE NOR STONE OR GRAVEL LARGER THAN 2 INCHES.

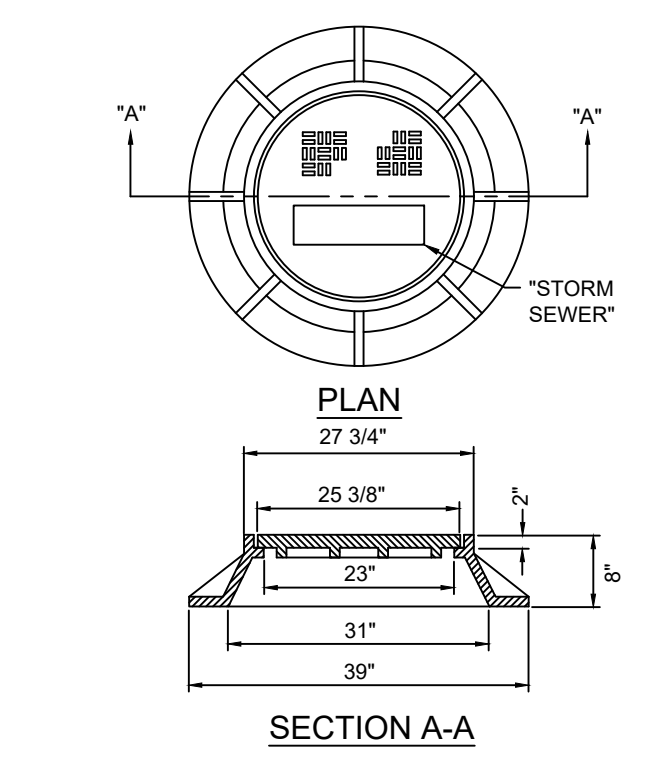
STORM SEWER TRENCH



PIPE I.D.	"A" DIA.	"B" DIA.	"C" DIA.
15'-0"	4'-0"	5'-0"	5'-0"
21'-0"	5'-0"	6'-0"	6'-0"
33'-0"	6'-0"	8'-0"	8'-0"
48'-0"	7'-0"	8'-0"	10'-0"

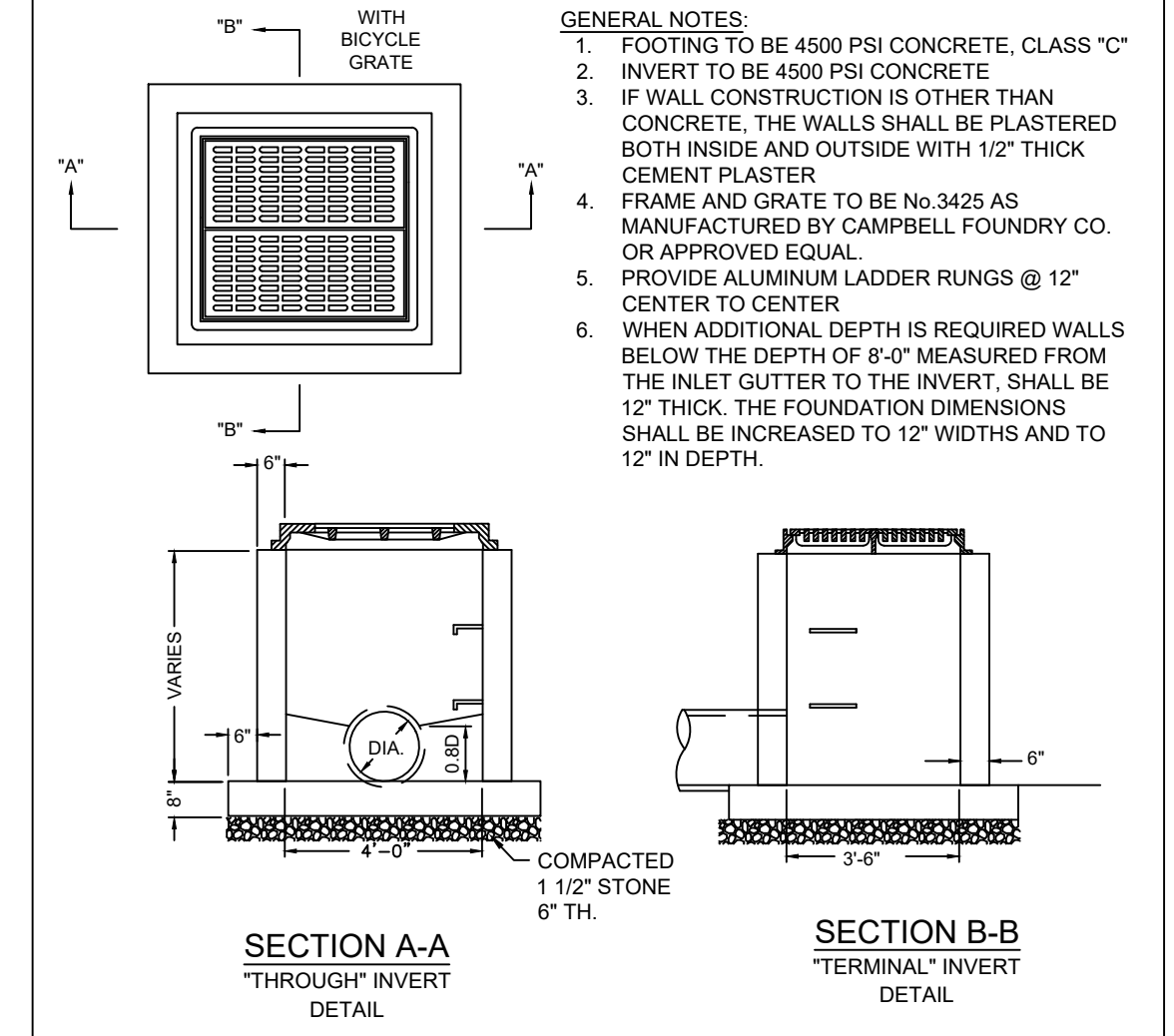
- GENERAL NOTES:**
- FOOTING TO BE N.J.D.O.T., CLASS "C"
 - INVERT TO BE CLASS "C" CONCRETE
 - IF WALL CONSTRUCTION IS OTHER THAN CONCRETE, THE WALLS SHALL BE PLASTERED BOTH INSIDE AND OUTSIDE WITH 1/2" THICK CEMENT PLASTER
 - FRAME AND GRATE TO BE NO. 2618 AS MANUFACTURED BY CAMPBELL FOUNDRY CO. OR APPROVED EQUAL.
 - PROVIDE ALUMINUM LADDER RUNGS @ 12" CENTER TO CENTER
 - WHEN ADDITIONAL DEPTH IS SCHEDULED WALLS BELOW THE DEPTH OF 8'-0" MEASURED FROM THE INLET GUTTER TO THE INVERT, SHALL BE 12" THICK. THE FOUNDATION DIMENSIONS SHALL BE INCREASED TO 12" WIDTH AND TO 12" IN DEPTH.

PRECAST STANDARD DRAINAGE MANHOLE



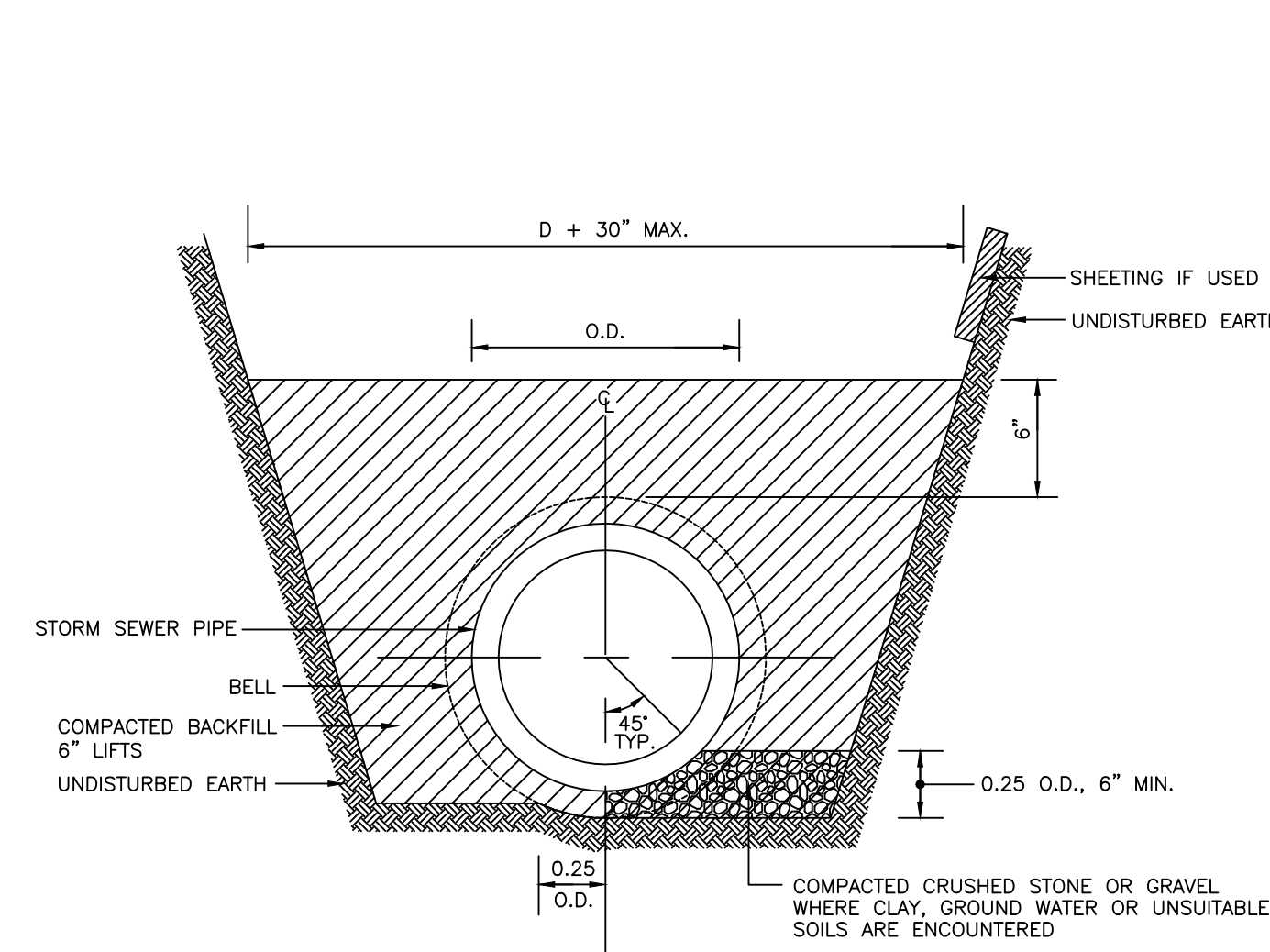
- NOTES:**
- HEAVY DUTY CIRCULAR FLARED TYPE FRAME WITH ROUND FLANGE, CAMPBELL FOUNDRY PATTERN NO. 1203 OR EQUAL.
 - STORM SEWER MANHOLE COVERS TO HAVE A MINIMUM OF SIX 3/4" PICK HOLES.

STORMWATER MANHOLE FRAME AND COVER

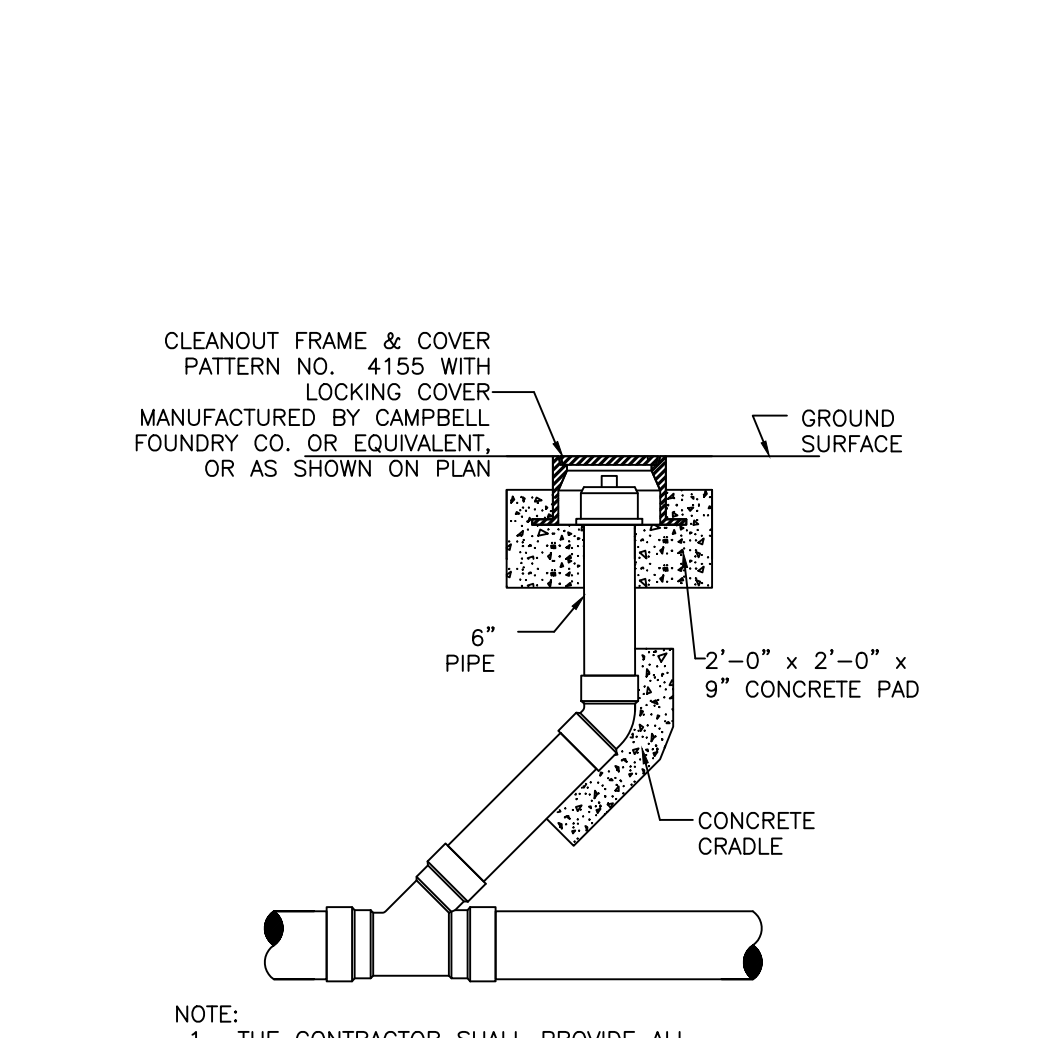


- GENERAL NOTES:**
- FOOTING TO BE 4500 PSI CONCRETE, CLASS "C"
 - INVERT TO BE 4500 PSI CONCRETE
 - IF WALL CONSTRUCTION IS OTHER THAN CONCRETE, THE WALLS SHALL BE PLASTERED BOTH INSIDE AND OUTSIDE WITH 1/2" THICK CEMENT PLASTER
 - FRAME AND GRATE TO BE NO. 3425 AS MANUFACTURED BY CAMPBELL FOUNDRY CO. OR APPROVED EQUAL.
 - PROVIDE ALUMINUM LADDER RUNGS @ 12" CENTER TO CENTER
 - WHEN ADDITIONAL DEPTH IS REQUIRED WALLS BELOW THE DEPTH OF 8'-0" MEASURED FROM THE INLET GUTTER TO THE INVERT, SHALL BE 12" THICK. THE FOUNDATION DIMENSIONS SHALL BE INCREASED TO 12" WIDTHS AND TO 12" IN DEPTH.

TYPE "E" INLET

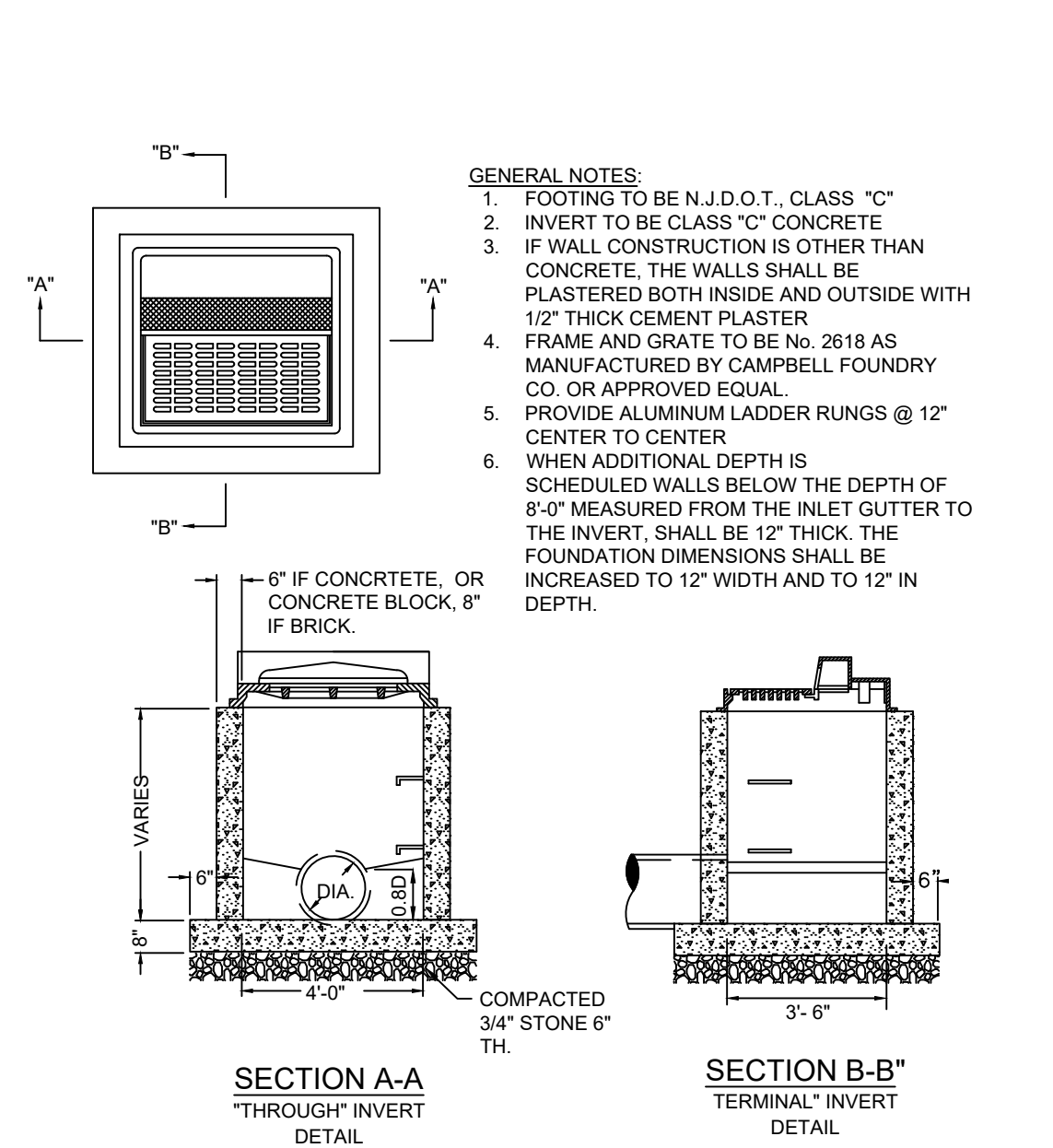


STORM SEWER PIPE BEDDING

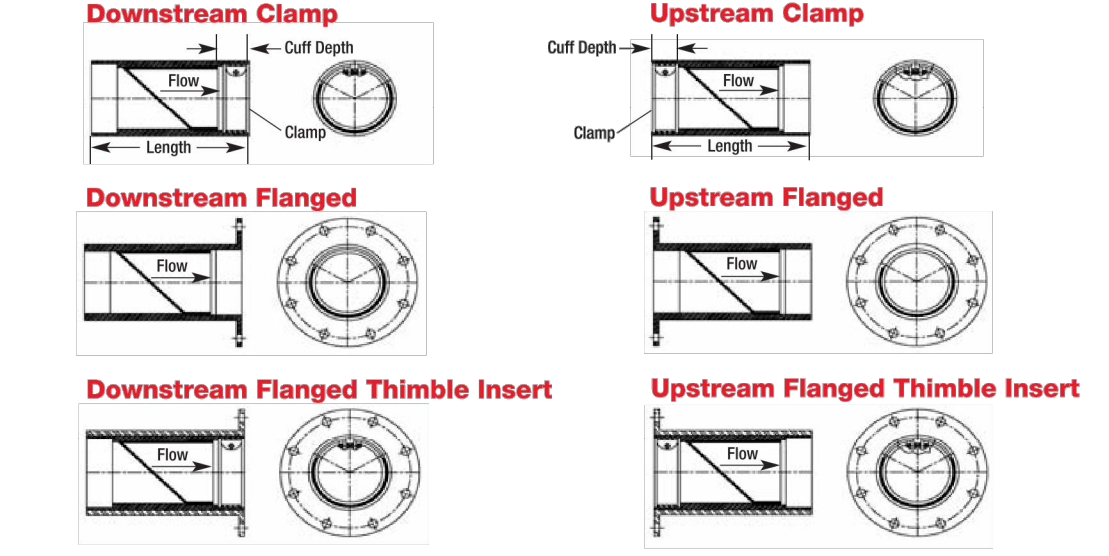


- NOTE:**
- THE CONTRACTOR SHALL PROVIDE ALL APPROPRIATE AND NECESSARY FITTING AND ADAPTORS.

CLEANOUT

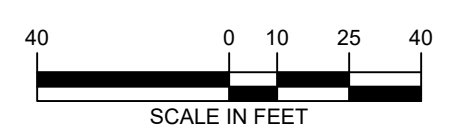


TYPE "B" INLET



Nominal Pipe Size I.D.	Overall Length		Number of Clamps	Cuff Depth		Back Pressure Rating	Weight
	Inches	Millimeters		Inches	Millimeters		
3	75	5.1	130	1	1.5	38	5
4	100	7.9	201	1	1.5	38	5
5	125	9.5	241	1	1.5	38	5
6	150	11.0	279	1	2.0	51	63
7	175	12.8	325	1	2.0	51	79
8	200	15.2	386	1	2.0	51	79
9	225	15.4	391	1	2.0	51	79
10	250	16.1	409	1	2.0	51	71
12	300	19.8	503	1	2.0	51	68
14	350	25.8	655	1	4.0	102	64
16	400	28.6	726	1	4.0	102	60
18	450	31.0	787	1	4.0	102	56
20	500	42.1	1069	2	8.0	203	53
24	600	47.5	1207	2	8.0	203	45
30	750	54.9	1395	2	8.0	203	38
36	900	62.3	1582	2	8.0	203	30
42	1050	70.6	1793	2	8.0	203	26
48	1200	79.0	2007	2	8.0	203	23
54	1350	86.4	2195	2	8.0	203	17
60	1500	95.8	2469	2	9.0	229	15
72	1800	119.0	3023	3	12.0	305	13
78	1950	119.0	3023	3	12.0	305	13

TIDEFLEX CHECKMATE INLINE CHECK VALVE



Date	Description	No.
	REVISIONS	

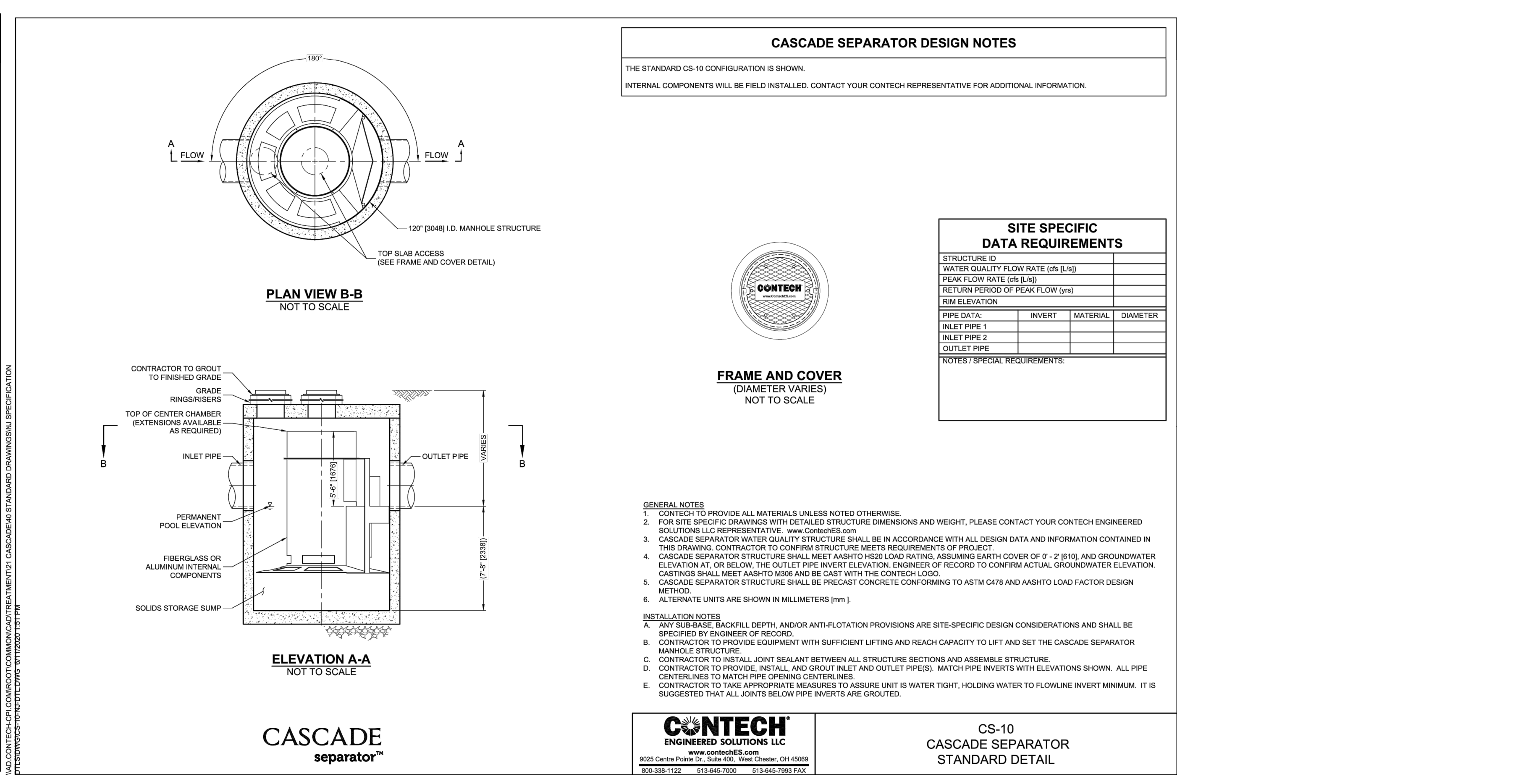
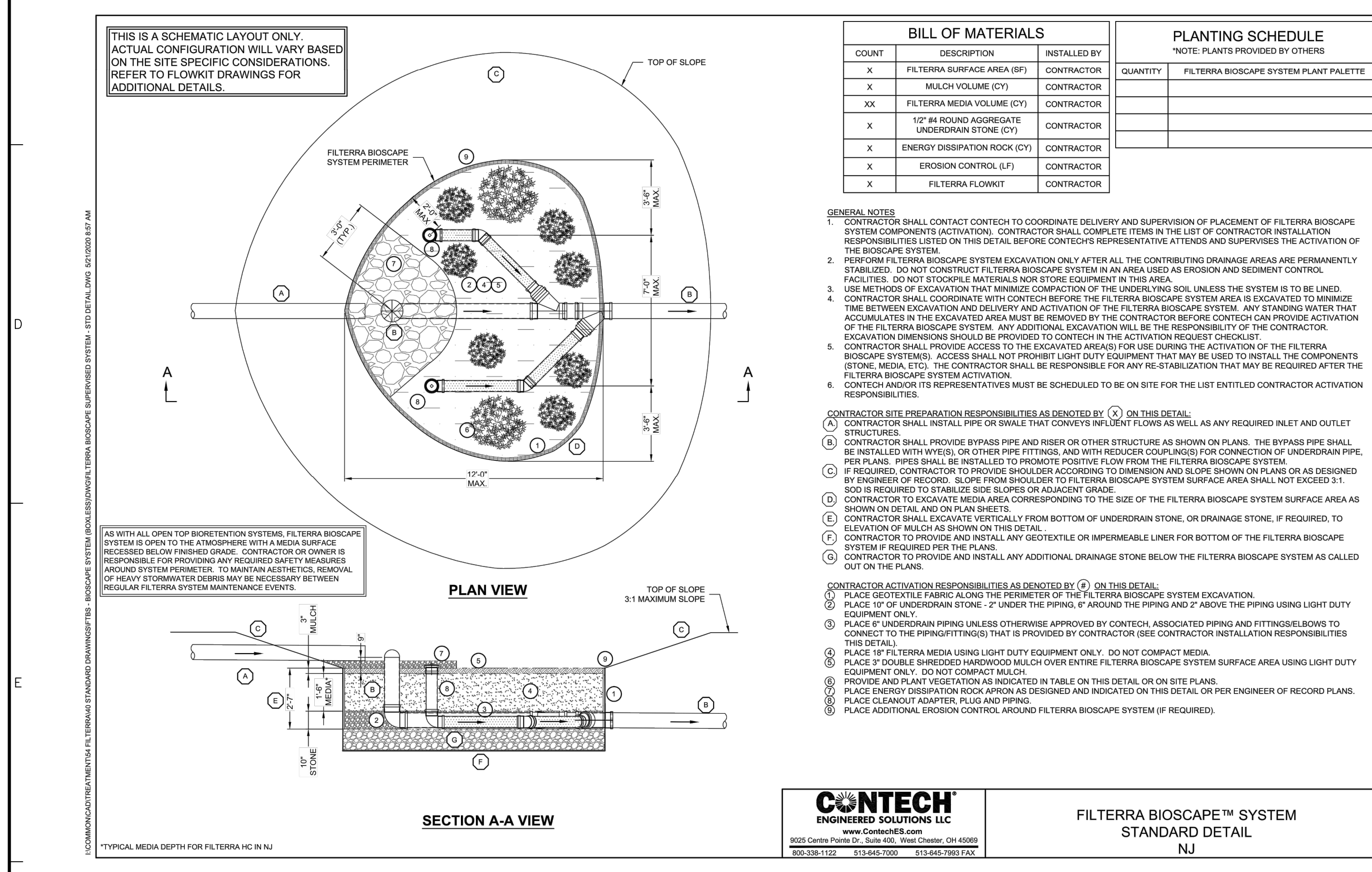
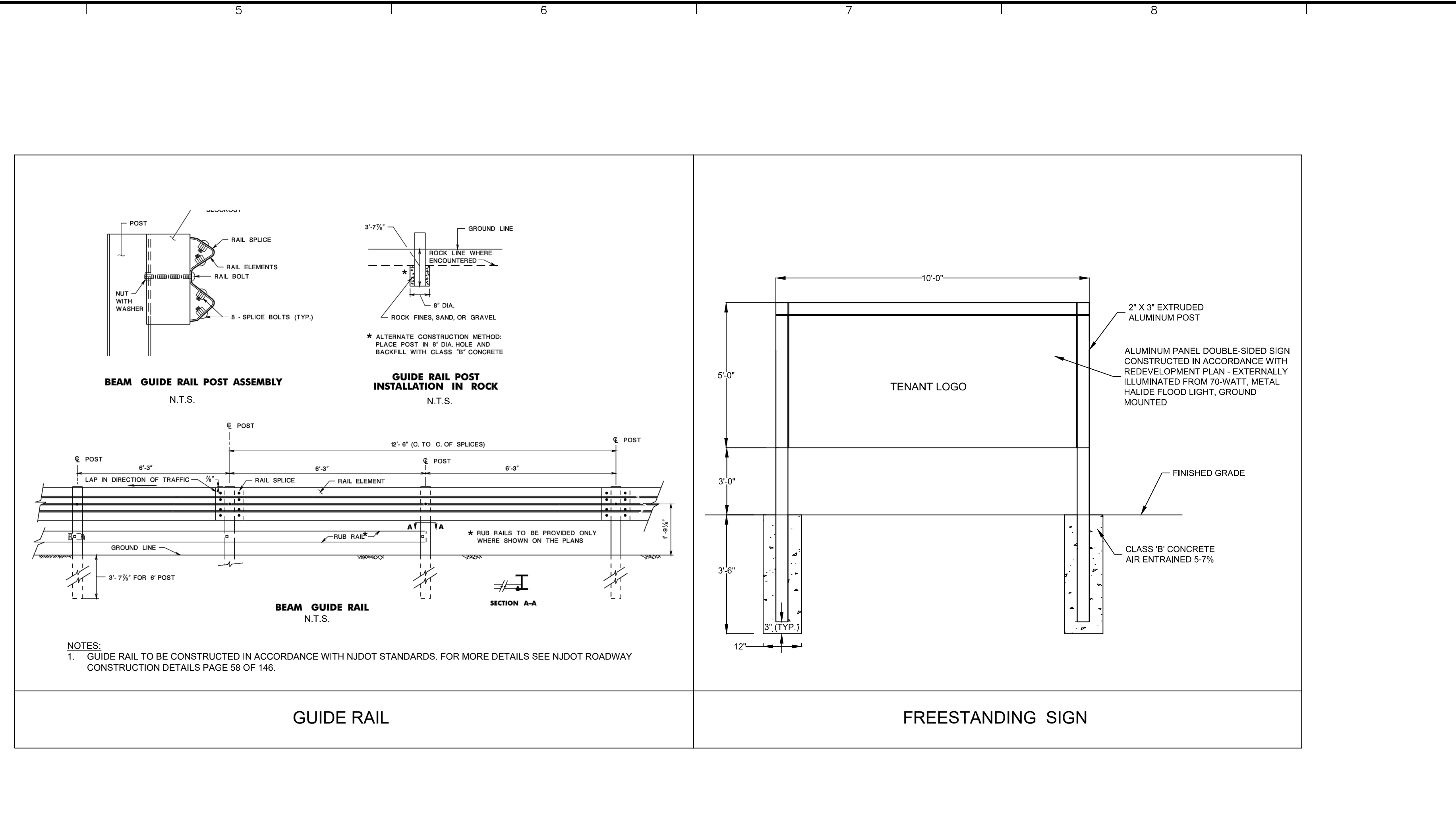
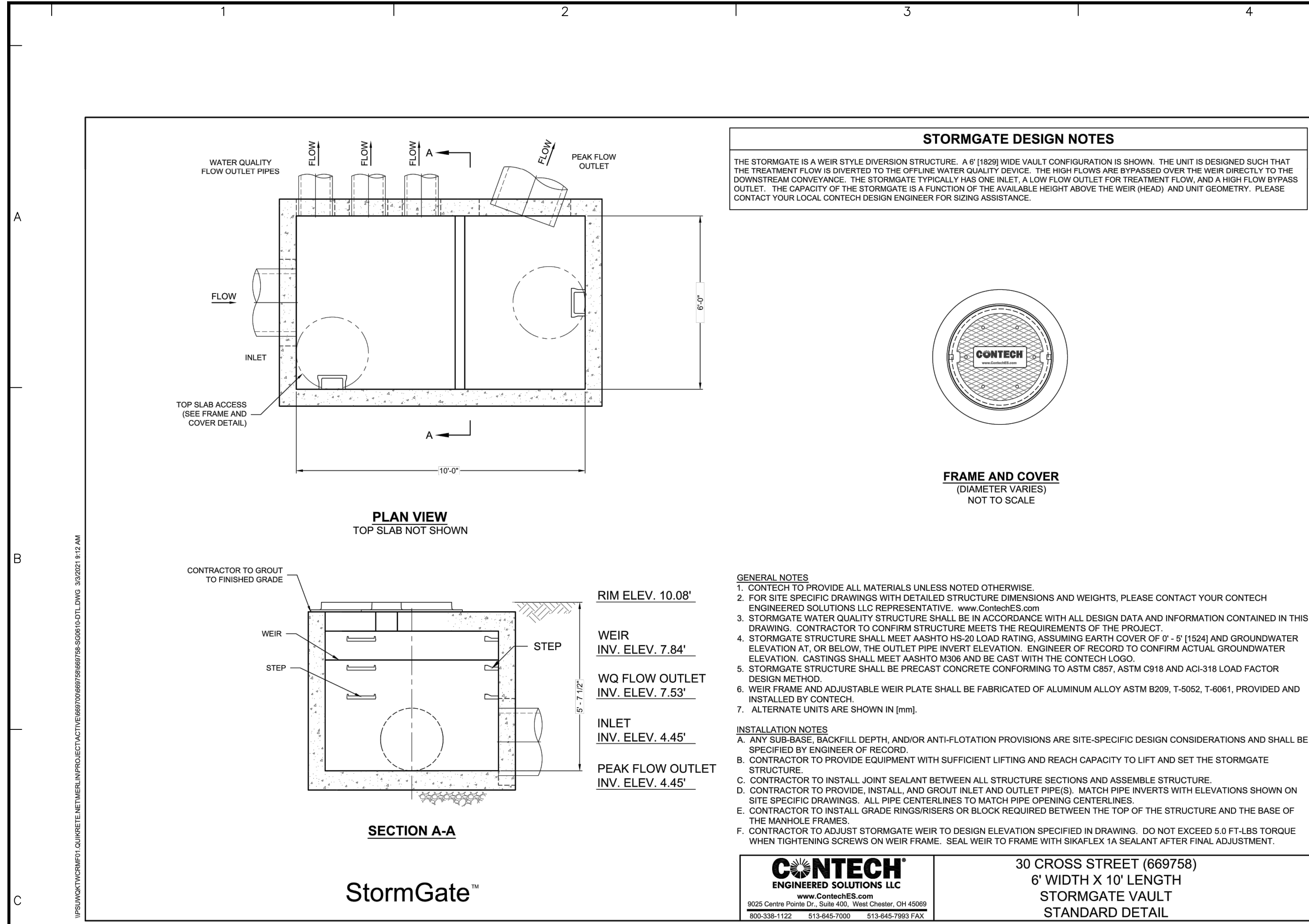
KEVIN WEBB
PROFESSIONAL ENGINEER
NJ Lic. No. 24GE04075100
3/11/2021

LANGAN
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NJ CERTIFICATE OF AUTHORIZATION NO. 24GA27896400

Project
30 CROSS STREET
BLOCK 113 / LOTS 7, 7.01, 7.02, 7.03, 8, 8.01, 8.02 (BOGOTA)
BLOCK 152.01 / LOTS 1, 1.01, 2 (RIDGEFIELD PARK)
BOROUGH OF BOGOTA / VILLAGE OF RIDGEFIELD PARK
BERGEN COUNTY NEW JERSEY

Drawing Title
CONSTRUCTION DETAILS 3

Project No. **130148001**
Date **03/03/2021**
Drawn By **HYL**
Checked By **KW**
Drawing No. **CS503**
Sheet 17 of 19



THIS IS A SCHEMATIC LAYOUT ONLY. ACTUAL CONFIGURATION WILL VARY BASED ON THE SITE SPECIFIC CONSIDERATIONS. REFER TO FLOWKIT DRAWINGS FOR ADDITIONAL DETAILS.

AS WITH ALL OPEN TOP BIOTRETENTION SYSTEMS, FILTRERRA BIOSCAPE SYSTEM IS OPEN TO THE ATMOSPHERE WITH A MEDIA SURFACE RECESSED BELOW FINISHED GRADE. CONTRACTOR OR OWNER IS RESPONSIBLE FOR PROVIDING ANY REQUIRED SAFETY MEASURES AROUND SYSTEM PERIMETER. TO MAINTAIN AESTHETICS, REMOVAL OF HEAVY STORMWATER DEBRIS MAY BE NECESSARY BETWEEN REGULAR FILTRERRA SYSTEM MAINTENANCE EVENTS.

TYPICAL MEDIA DEPTH FOR FILTRERRA HC IN NJ

Date	Description	No.

REVISIONS

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 NJ CERTIFICATE OF AUTHORIZATION NO. 24G247896400

Project
30 CROSS STREET
 BLOCK 113/LOTS 7, 7.01, 7.02, 7.03, 8, 8.01, 8.02 (BOGOTA)
 BLOCK 152.01 / LOTS 1, 1.01, 2 (RIDGEFIELD PARK)
 BOROUGHS OF BOGOTA / VILLAGE OF RIDGEFIELD PARK
 BERGEN COUNTY NEW JERSEY

Drawing Title
CONSTRUCTION DETAILS 4

Project No.
130148001

Date
03/03/2021

Drawn By
HYL

Checked By
KW

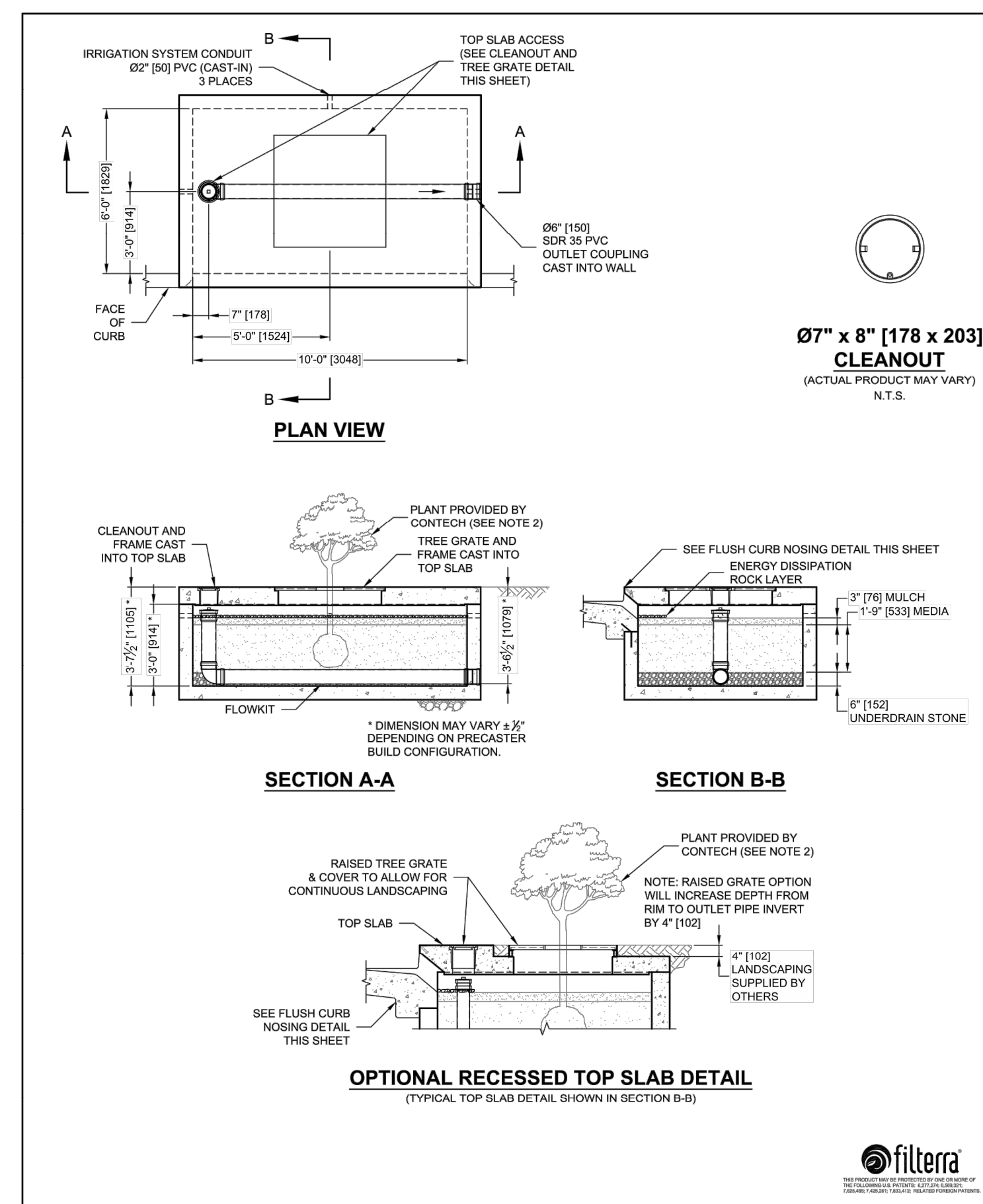
Project No.
130148001

Date
03/03/2021

Drawn By
HYL

Checked By
KW

Sheet 18 of 19



FILTERRA DESIGN NOTES

THE FILTERRA TREATMENT CAPACITY IS DETERMINED BY THE TREATMENT RATE OF THE FILTERRA MEDIA. A SEPARATE INLET STRUCTURE MUST BE INSTALLED DOWNSTREAM OF THE OFFLINE FILTERRA TO CONVEY FLOWS IN EXCESS OF THE SYSTEM DESIGN CAPACITY. SEE THE FILTERRA DESIGN, OPERATION, AND PERFORMANCE GUIDE FOR MORE INFORMATION.

07" x 8" [178 x 203] CLEANOUT
(ACTUAL PRODUCT MAY VARY) N.T.S.

48" x 48" [1219 x 1219] TREE GRATE
(ACTUAL PRODUCT MAY VARY) N.T.S.

OUTFLOW PIPE ORIENTATION OPTIONS
ORIENTATION REFERENCE IS INLET THROAT

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	-
SYSTEM TREATMENT CAPACITY (CFS / IN)	-
WATER QUALITY FLOW RATE (CFS / IN)	-
PEAK FLOW RATE (CFS / IN)	-
RETURN PERIOD OF PEAK FLOW (YRS)	-
REQUIRED MEDIA INFILTRATION RATE	-
PIPE DATA	I.E. MATERIAL DIAMETER
OUTLET PIPE	SCH 40 PVC 4"
CURB OPENING ORIENTATION	TOP OF CURB ELEVATION
ANTI-FLOTATION BALLAST	WIDTH HEIGHT
IF REQUIRED	-
NOTES/SPECIAL REQUIREMENTS:	-
	* PER ENGINEER OF RECORD

GENERAL NOTES

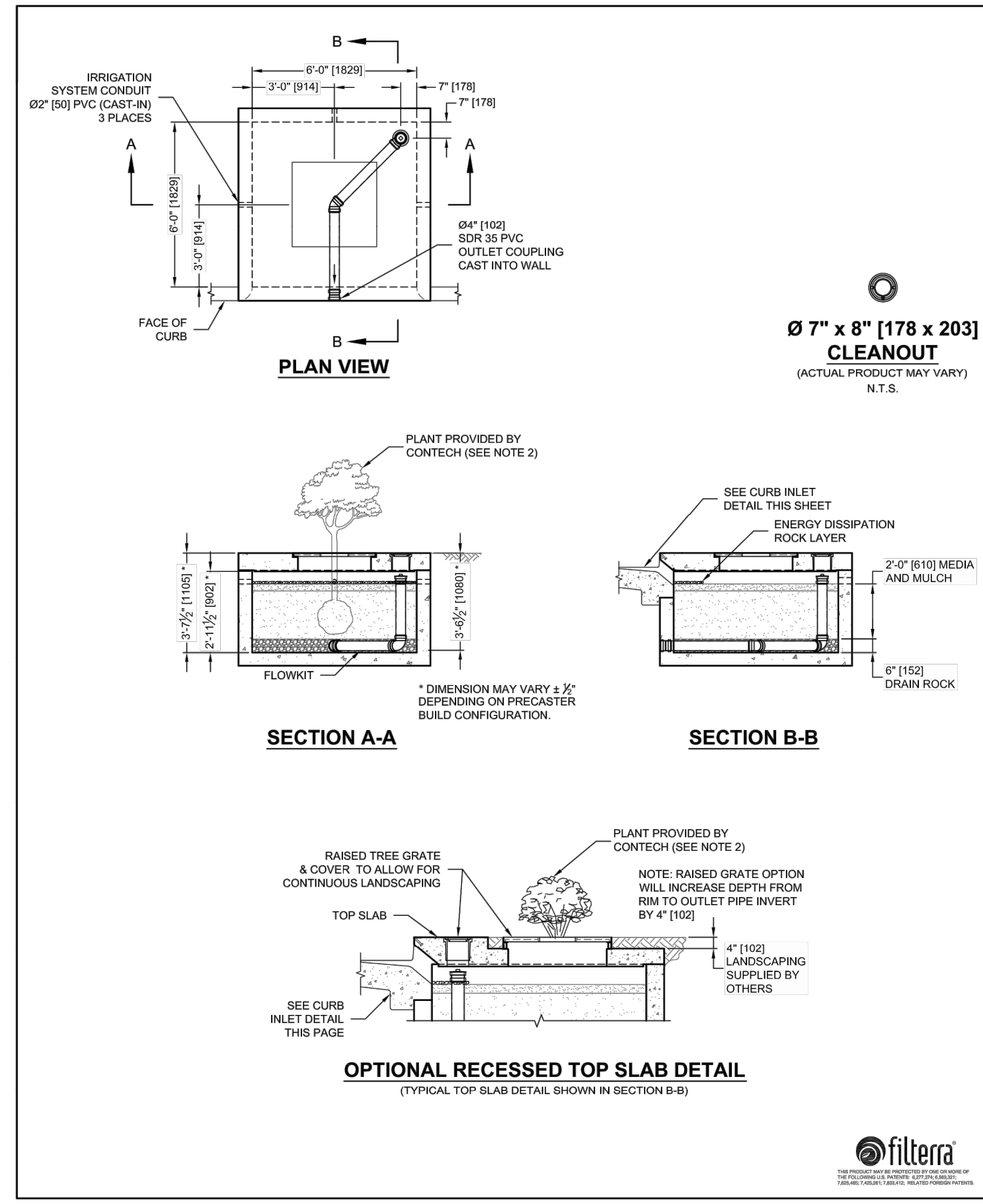
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- PLANT, MULCH, AND DISPERSION ROCK ARE SUPPLIED BY CONTECH AND DELIVERED AT TIME OF SYSTEM ACTIVATION. PLANT SELECTION SHALL BE DONE BY THE ENGINEER OF RECORD IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.
- DIMENSIONS MARKED WITH (I) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED VAULT DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE. www.contechES.com
- FILTERRA WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE DESIGNED FOR PEDESTRIAN LIVE LOAD WITH HS (4,000 LBS.) WHEEL LOAD MOUNTING THE CURB AND ADJACENT HS-2 LIVE LOAD SURCHARGE ON THE WALLS OF THE STRUCTURE.
- FILTERRA STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-857, ASTM C-918, AND ACI-318 LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE FILTERRA VAULT LIFTING CLUTCHES PROVIDED. SPREADER BAR WITH SUFFICIENT CABLE IS REQUIRED FOR SAFETY AND REDUCTION OF DAMAGE TO CONCRETE STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL VAULT SECTIONS AND ASSEMBLY VAULT.
- CONTRACTOR TO PROVIDE AND INSTALL OUTLET PIPE. PVC COUPLING CAST-IN TO WALL FOR OUTLET PIPE CONNECTION.
- CONTRACTOR TO SUPPLY AND INSTALL INLET PROTECTION BAR IF REQUIRED BY LOCAL JURISDICTION.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT FILTERRA MEDIA BAY FROM CONSTRUCTION RELATED EROSION RUNOFF.
- CONTECH IS RESPONSIBLE FOR ACTIVATION OF THE SYSTEM AND PLANTING OF THE PLANT THAT IS SPECIFIED. ACTIVATION ONLY OCCURS WHEN THE SITE IS FULLY STABILIZED. FINAL PAVEMENT INSTALLED AND SWEPT CLEAN OF CONSTRUCTION SEDIMENT.
- ALL FILTERRA UNITS MUST BE WATERED BY IRRIGATION LINES OR SPRINKLER SYSTEMS ON A REGULAR BASIS. EACH FILTERRA UNIT INCLUDES IRRIGATION HOLES FOR NEW OR EXISTING IRRIGATION LINES.

CONTECH ENGINEERED SOLUTIONS LLC
www.contechES.com
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800-338-1122 513-645-7000 513-645-7993 FAX

FILTERRA 10x6 OFFLINE STANDARD
LONG SIDE INLET
MODEL: FT1006



FILTERRA DESIGN NOTES

THE FILTERRA TREATMENT CAPACITY IS DETERMINED BY THE TREATMENT RATE OF THE FILTERRA MEDIA. A SEPARATE INLET STRUCTURE MUST BE INSTALLED DOWNSTREAM OF THE OFFLINE FILTERRA TO CONVEY FLOWS IN EXCESS OF THE SYSTEM DESIGN CAPACITY. SEE THE FILTERRA DESIGN, OPERATION, AND PERFORMANCE GUIDE FOR MORE INFORMATION.

07" x 8" [178 x 203] CLEANOUT
(ACTUAL PRODUCT MAY VARY) N.T.S.

36" x 36" [914 x 914] TREE GRATE
(ACTUAL PRODUCT MAY VARY) N.T.S.

OUTFLOW PIPE ORIENTATION OPTIONS
ORIENTATION REFERENCE IS INLET THROAT

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	-
SYSTEM TREATMENT CAPACITY (CFS / IN)	-
WATER QUALITY FLOW RATE (CFS / IN)	-
PEAK FLOW RATE (CFS / IN)	-
RETURN PERIOD OF PEAK FLOW (YRS)	-
REQUIRED MEDIA INFILTRATION RATE	-
PIPE DATA	I.E. MATERIAL DIAMETER
OUTLET PIPE	SCH 40 PVC 4"
CURB OPENING ORIENTATION	TOP OF CURB ELEVATION
ANTI-FLOTATION BALLAST	WIDTH HEIGHT
IF REQUIRED	-
NOTES/SPECIAL REQUIREMENTS:	-
	* PER ENGINEER OF RECORD

GENERAL NOTES

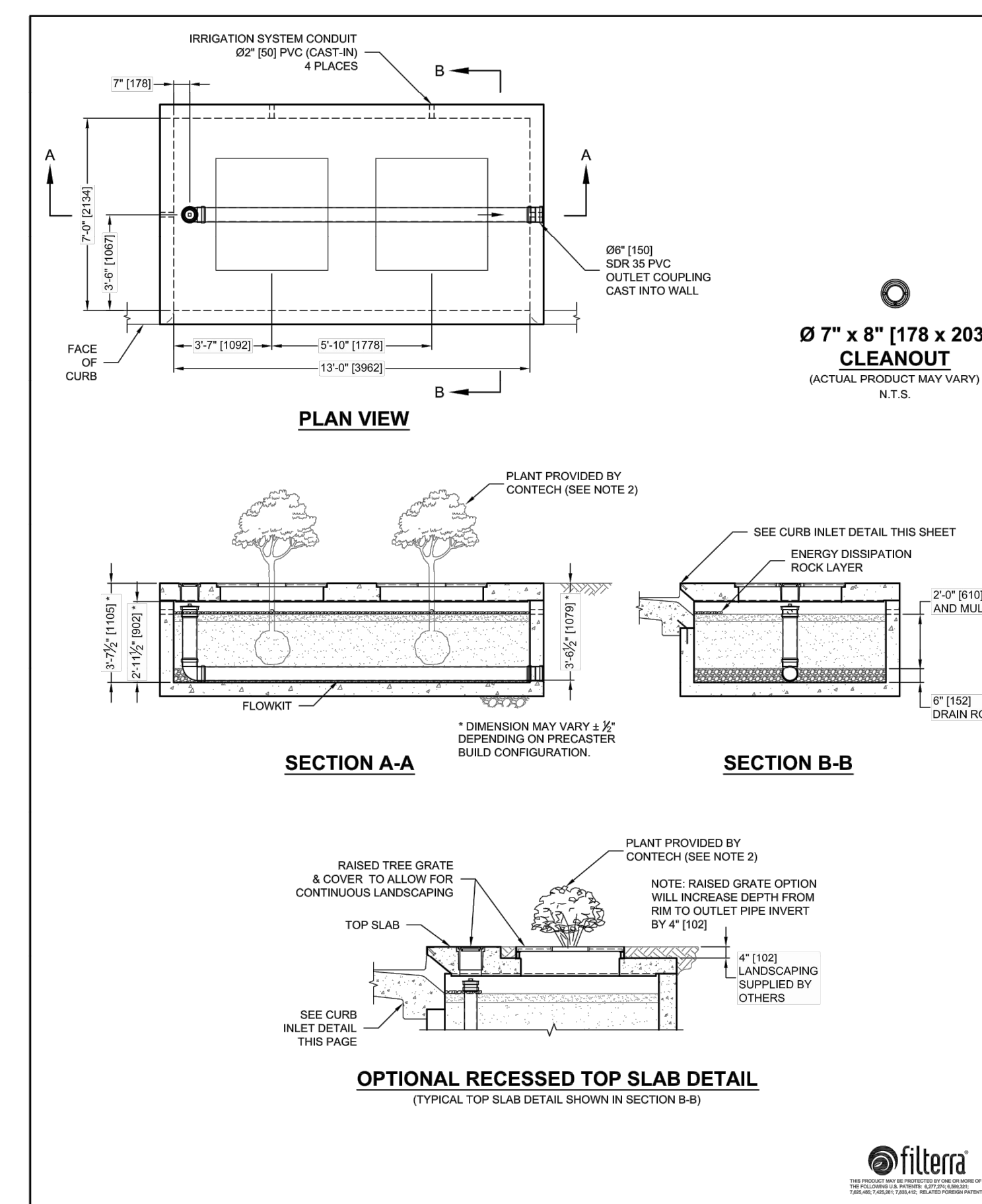
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- FILTERRA STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-857, ASTM C-918, AND ACI-318 LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
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CONTECH ENGINEERED SOLUTIONS LLC
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800-338-1122 513-645-7000 513-645-7993 FAX

FILTERRA 6x6 OFFLINE STANDARD
MODEL: FT0606



FILTERRA DESIGN NOTES

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07" x 8" [178 x 203] CLEANOUT
(ACTUAL PRODUCT MAY VARY) N.T.S.

48" x 48" [1219 x 1219] TREE GRATE
(ACTUAL PRODUCT MAY VARY) N.T.S.

OUTFLOW PIPE ORIENTATION OPTIONS
ORIENTATION REFERENCE IS INLET THROAT

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	-
SYSTEM TREATMENT CAPACITY (CFS / IN)	-
WATER QUALITY FLOW RATE (CFS / IN)	-
PEAK FLOW RATE (CFS / IN)	-
RETURN PERIOD OF PEAK FLOW (YRS)	-
REQUIRED MEDIA INFILTRATION RATE	-
PIPE DATA	I.E. MATERIAL DIAMETER
OUTLET PIPE	SCH 40 PVC 4"
CURB OPENING ORIENTATION	TOP OF CURB ELEVATION
ANTI-FLOTATION BALLAST	WIDTH HEIGHT
IF REQUIRED	-
NOTES/SPECIAL REQUIREMENTS:	-
	* PER ENGINEER OF RECORD

GENERAL NOTES

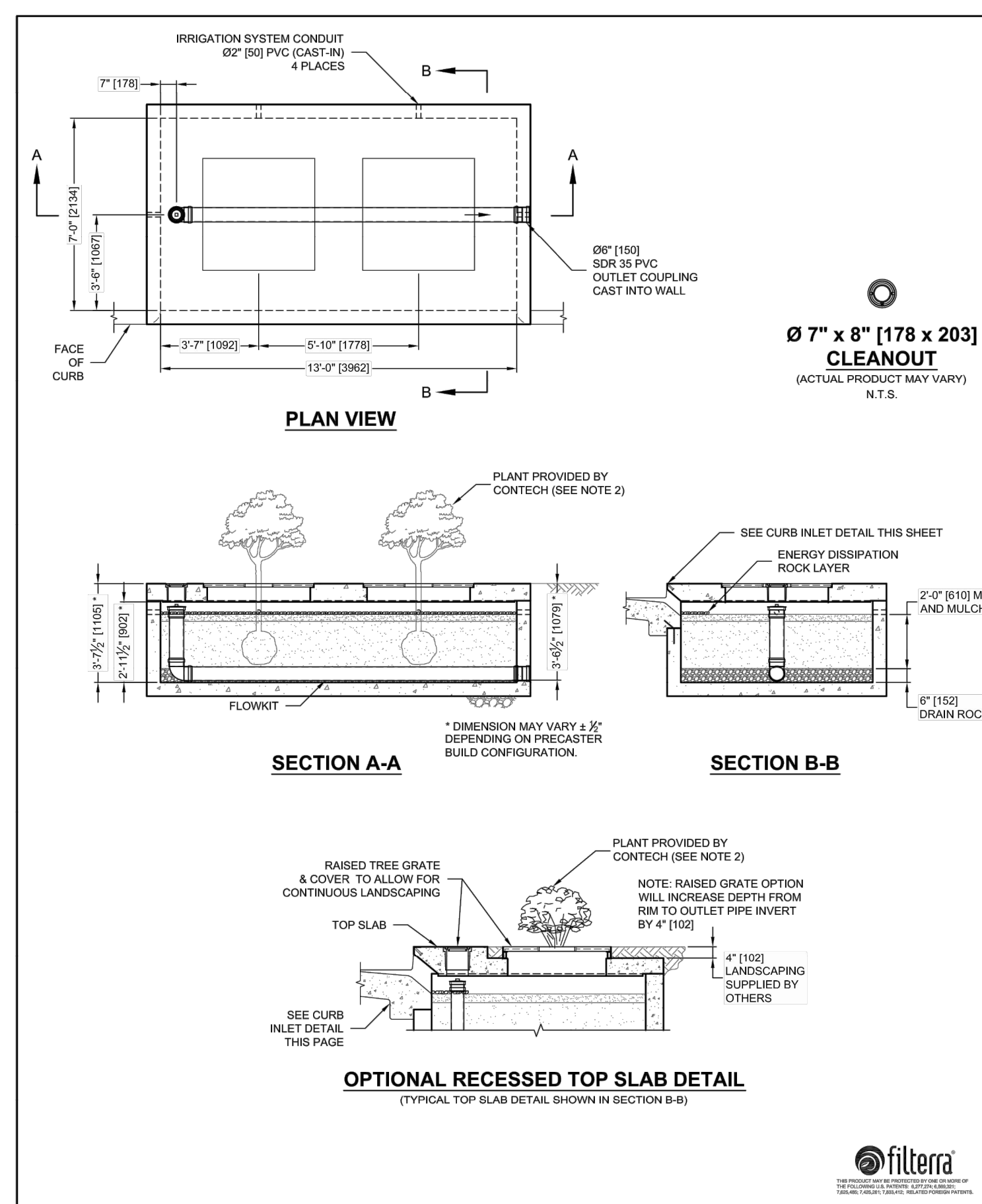
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INSTALLATION NOTES

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CONTECH ENGINEERED SOLUTIONS LLC
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FILTERRA 13x7 OFFLINE STANDARD
LONG SIDE INLET
MODEL: FT1307



FILTERRA DESIGN NOTES

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07" x 8" [178 x 203] CLEANOUT
(ACTUAL PRODUCT MAY VARY) N.T.S.

48" x 48" [1219 x 1219] TREE GRATE
(ACTUAL PRODUCT MAY VARY) N.T.S.

OUTFLOW PIPE ORIENTATION OPTIONS
ORIENTATION REFERENCE IS INLET THROAT

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	-
SYSTEM TREATMENT CAPACITY (CFS / IN)	-
WATER QUALITY FLOW RATE (CFS / IN)	-
PEAK FLOW RATE (CFS / IN)	-
RETURN PERIOD OF PEAK FLOW (YRS)	-
REQUIRED MEDIA INFILTRATION RATE	-
PIPE DATA	I.E. MATERIAL DIAMETER
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CURB OPENING ORIENTATION	TOP OF CURB ELEVATION
ANTI-FLOTATION BALLAST	WIDTH HEIGHT
IF REQUIRED	-
NOTES/SPECIAL REQUIREMENTS:	-
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GENERAL NOTES

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FILTERRA 13x7 OFFLINE STANDARD
LONG SIDE INLET
MODEL: FT1307



Date	Description	No.
3/11/2021	KEVIN WEBB PROFESSIONAL ENGINEER NJ Lic. No. 24GE04075100	
	REVISIONS	

LANGAN
Langan Engineering and Environmental Services, Inc.
989 Lenox Drive, Suite 124
Lawrenceville, NJ 08648

T: 609.282.8000 F: 609.282.8001 www.langan.com
NJ CERTIFICATE OF AUTHORIZATION NO. 24GA27896400

Project
30 CROSS STREET
BLOCK 113 / LOTS 7, 7.01, 7.02, 7.03, 8, 8.01, 8.02 (BOGOTA)
BLOCK 152.01 / LOTS 1, 1.01, 2 (RIDGEFIELD PARK)
BOROUGH OF BOGOTA / VILLAGE OF RIDGEFIELD PARK
BERGEN COUNTY NEW JERSEY

Drawing Title
CONSTRUCTION DETAILS 5

Project No. 130148001
Date 03/03/2021
Drawn By HYL
Checked By KJW

Drawing No. CS505
Sheet 19 of 19