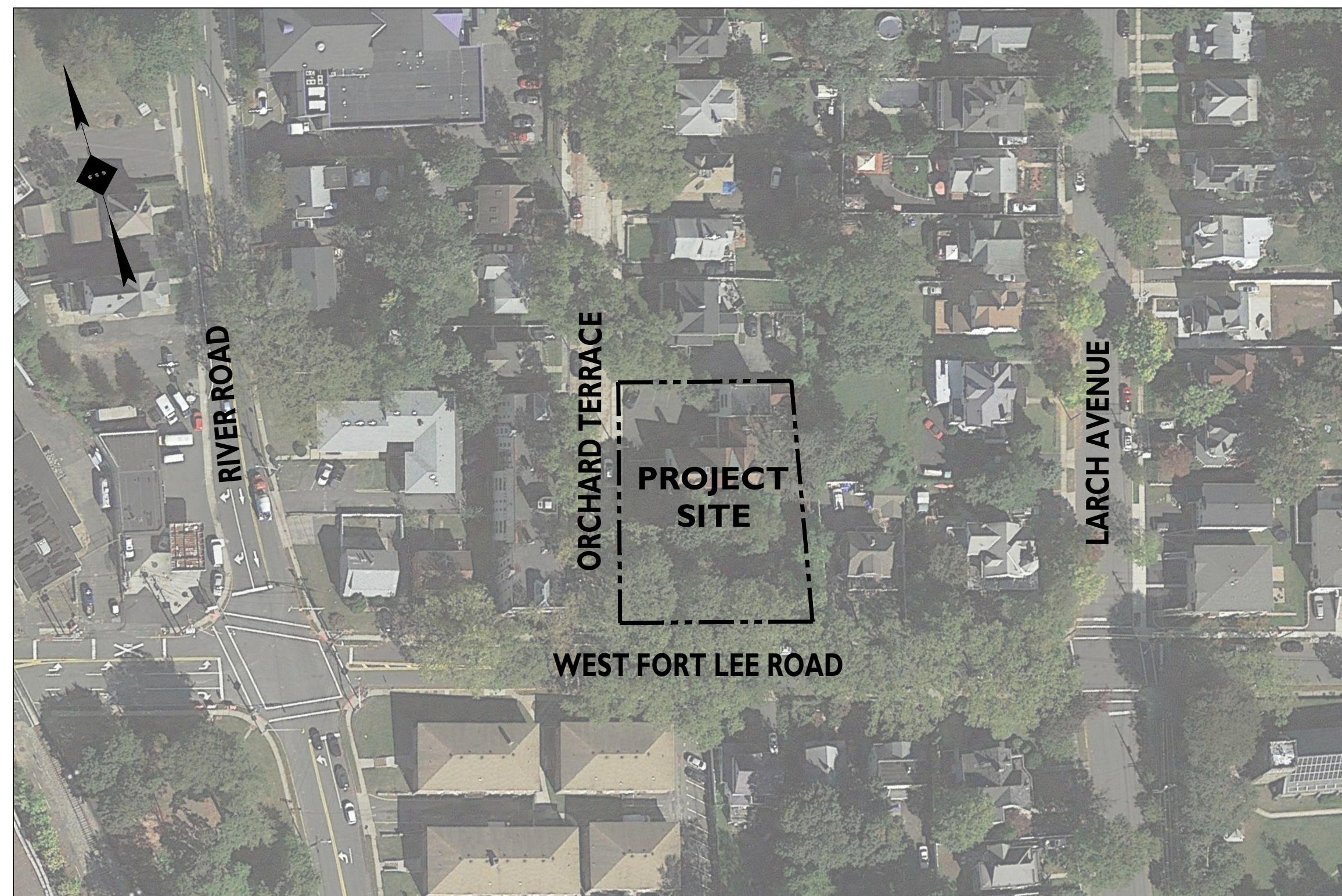


**LOCATION / KEY MAP**

SCALE: 1" = 400'±

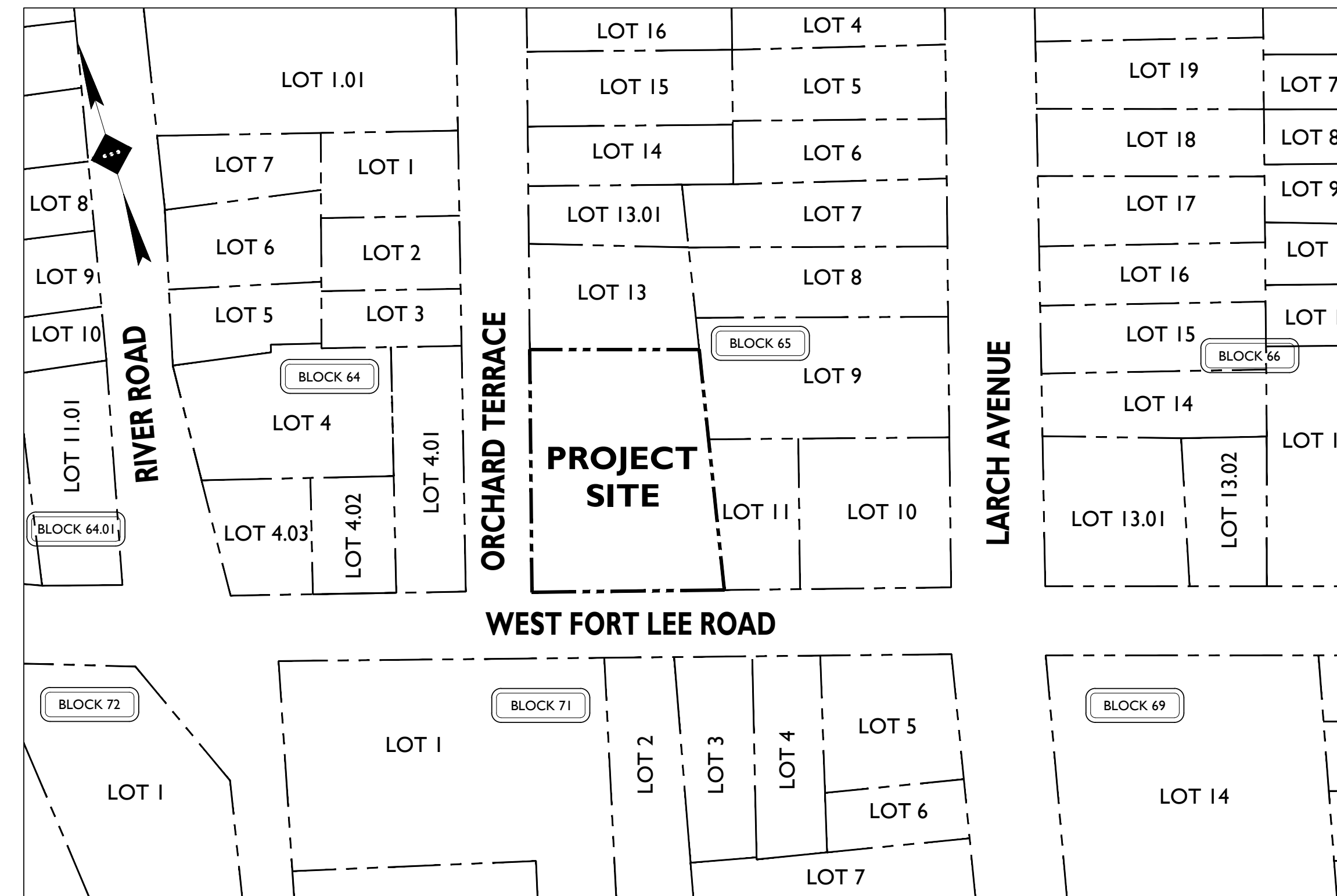
# PRELIMINARY AND FINAL MINOR SITE PLANS FOR BOGOTA RESIDENTIAL PROPOSED RESIDENTIAL DEVELOPMENT

BLOCK 65, LOT 12  
285 ORCHARD TERRACE  
BOROUGH OF BOGOTA, BERGEN COUNTY, NEW JERSEY



**AERIAL MAP**

SCALE: 1" = 80'±



**TAX MAP**

SCALE: 1" = 80'±

PLANS PREPARED BY:



Rutherford, NJ · New York, NY · Boston, MA  
Princeton, NJ · Tampa, FL · Detroit, MI  
www.stonefieldeng.com

Headquarters: 92 Park Avenue, Rutherford, NJ 07070  
Phone 201.340.4468 · Fax 201.340.4472



Know what's below  
Call before you dig.

**PLAN REFERENCE MATERIALS:**

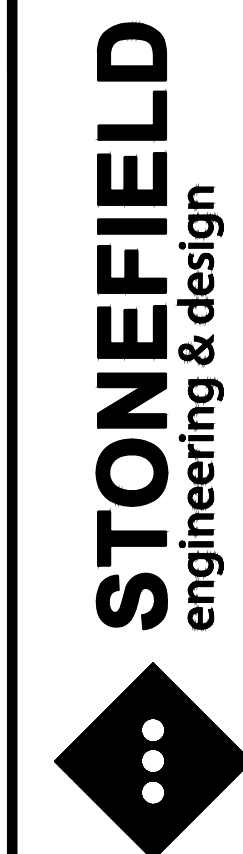
- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
  - BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY STONEFIELD ENGINEERING AND DESIGN, DATED 07/12/2021
  - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO, RETRIEVED ON 02/02/2022
  - LOCATION MAP OBTAINED FROM THE UNITED STATES GEOLOGICAL SURVEY, 7.5 MINUTE SERIES TOPOGRAPHIC MAP, HACKENSACK QUADRANGLE - HACKENSACK, NJ, DATED 2019.
  - TAX MAP OBTAINED FROM THE BERGEN COUNTY GIS ONLINE MAPPER, RETRIEVED 02/02/2022
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

**SHEET INDEX**

DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
DEMOLITION PLAN	C-3
SITE PLAN	C-4
GRADING AND DRAINAGE PLAN	C-5
UTILITY PLAN	C-6
SOIL EROSION AND SEDIMENT CONTROL PLAN	C-7
SOIL EROSION AND SEDIMENT CONTROL PLAN - NOTES AND DETAILS	C-8
CONSTRUCTION DETAILS	C-9

ISSUE	DATE	BY	DESCRIPTION
2	12/22/2022	TT	ISSUED FOR REVIEW
1	02/18/2023	CN	FOR CLIENT REVIEW

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**PRELIMINARY AND FINAL MINOR SITE PLANS  
PROPOSED RESIDENTIAL  
DEVELOPMENT**

BLOCK 65, LOT 12  
285 ORCHARD TERRACE  
TOWN OF BOGOTA  
BERGEN COUNTY, NEW JERSEY

*Zachary E. Chaplin*  
ZACHARY E. CHAPLIN, P.E.  
NEW JERSEY LICENSE No. 53605  
LICENSED PROFESSIONAL ENGINEER



SCALE: AS SHOWN PROJECT ID: RUT-210177

TITLE:  
**COVER SHEET**

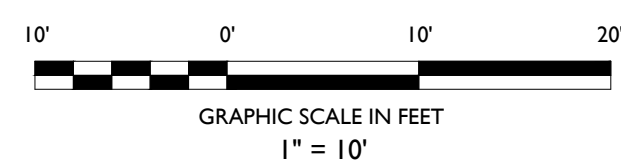
DRAWING:  
**C-1**

2:10 P:\PROJECTS\2017\100074 - RESIDENTIAL - 285 ORCHARD TERRACE - BGDSTA - 10/20/17\DWG



SYMBOL	DESCRIPTION
	BUILDING
	CONCRETE SIDEWALK / MAT
	ASPHALT / CONCRETE CURB
	DEPRESSED CURB
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	CHAIN LINK FENCE
	BOARD-ON-BOARD FENCE
	GUIDE RAIL
	MAST ARM LIGHT POLE
	POLE
	LIGHT POLE
	SIGNS
	WATER VALVE
	GAS VALVE
	FIRE HYDRANT
	DRAIN
	INLET
	MAN HOLE
	BOX (ELEC. GAS, ETC.)
	EDGE OF PAVEMENT
	OVERHEAD WIRE
	UNDERGROUND GAS LINE
	UNDERGROUND WATER LINE
	UNDERGROUND ELEC. LINE
	MAJOR CONTOUR
	MINOR CONTOUR
	GRADE SPOT SHOT
	TOP OF CURB SHOT
	BOTTOM OF CURB SHOT
	TOP OF WALL SHOT
	BOTTOM OF WALL SHOT
	LANDSCAPING
	ELEC. METER
	GAS METER
	WATER METER
	AIR CONDITIONING UNIT
	DECIDUOUS TREE - DIAMETER NOTED
	CONIFEROUS TREE - DIAMETER NOTED
	PINE TREE - DIAMETER NOTED
	BIKE RACK
	IRON PIN
	BENCHMARK
	DETECTABLE WARNING STRIP

**SURVEY NOTES:**  
 1. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.



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2	1/18/2013		ISSUE

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**PRELIMINARY AND FINAL MINOR SITE PLANS**

**PROPOSED RESIDENTIAL DEVELOPMENT**

BLOCK 65, LOT 12  
 285 ORCHARD TERRACE  
 TOWN OF BOGOTA  
 BERGEN COUNTY, NEW JERSEY

*Zachary E. Chaplin*

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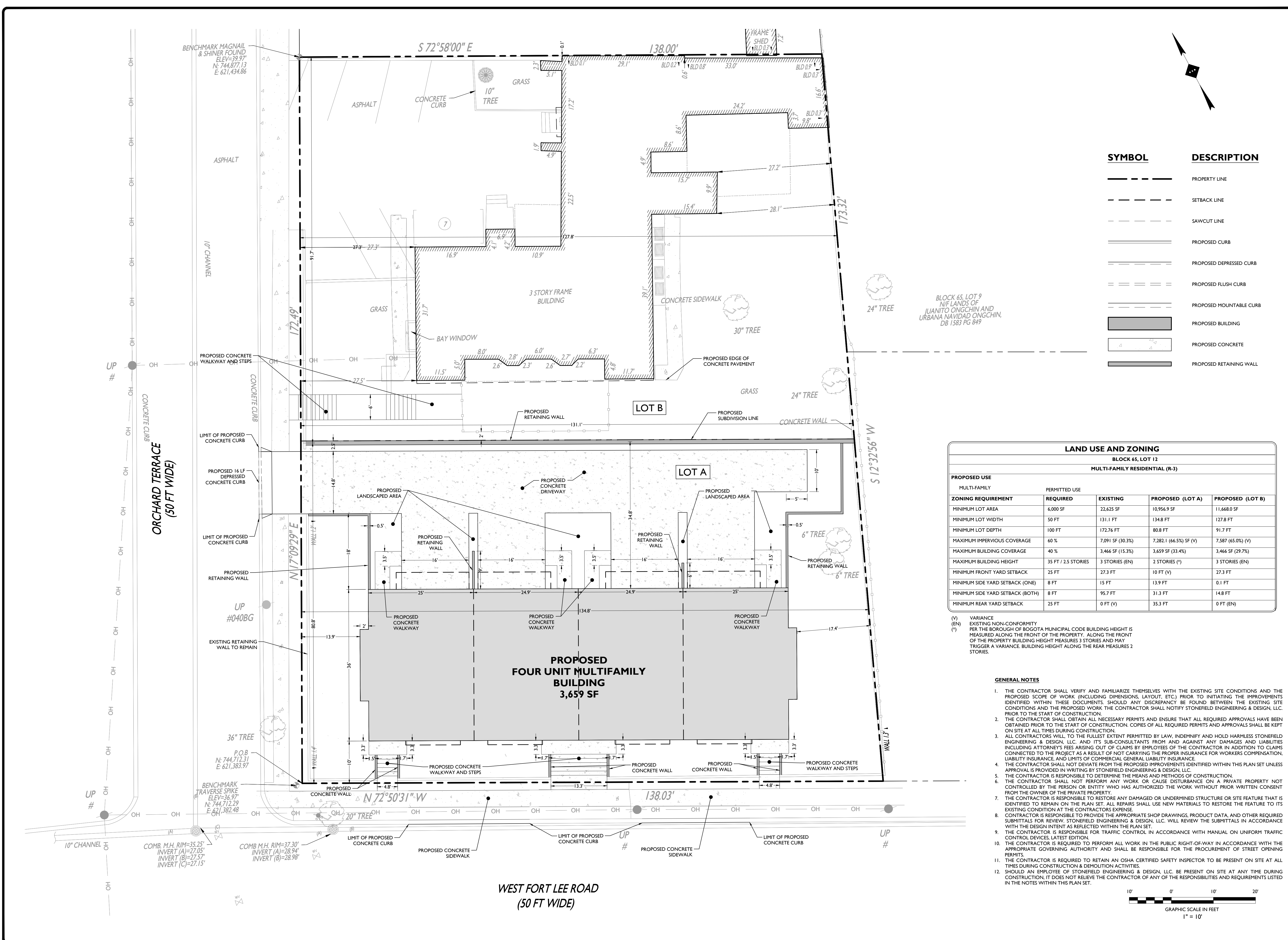
**STONEFIELD**  
 engineering & design

SCALE: 1" = 10' PROJECT ID: RUT-210177

TITLE:  
**EXISTING CONDITIONS PLAN**

DRAWING:  
**C-2**





SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - -	SETBACK LINE
- . -	SAWCUT LINE
- - - -	PROPOSED CURB
- - - - -	PROPOSED DEPRESSED CURB
- - - - -	PROPOSED FLUSH CURB
- - - - -	PROPOSED MOUNTABLE CURB
█	PROPOSED BUILDING
▣	PROPOSED CONCRETE
▩	PROPOSED RETAINING WALL

LAND USE AND ZONING				
BLOCK 65, LOT 12				
MULTI-FAMILY RESIDENTIAL (R-3)				
PROPOSED USE	REQUIRED	EXISTING	PROPOSED (LOT A)	PROPOSED (LOT B)
MULTI-FAMILY				
PERMITTED USE				
ZONING REQUIREMENT				
MINIMUM LOT AREA	6,000 SF	22,625 SF	10,956.9 SF	11,668.0 SF
MINIMUM LOT WIDTH	50 FT	131.1 FT	134.8 FT	127.8 FT
MINIMUM LOT DEPTH	100 FT	172.76 FT	80.8 FT	91.7 FT
MAXIMUM IMPERVIOUS COVERAGE	60 %	7,091 SF (30.3%)	7,282.1 (66.5%) SF (V)	7,587 (65.0%) (V)
MAXIMUM BUILDING COVERAGE	40 %	3,466 SF (15.3%)	3,659 SF (33.4%)	3,466 SF (29.7%)
MAXIMUM BUILDING HEIGHT	35 FT / 2.5 STORIES	3 STORIES (EN)	2 STORIES (*)	3 STORIES (EN)
MINIMUM FRONT YARD SETBACK	25 FT	27.3 FT	10 FT (V)	27.3 FT
MINIMUM SIDE YARD SETBACK (ONE)	8 FT	15 FT	13.9 FT	0.1 FT
MINIMUM SIDE YARD SETBACK (BOTH)	8 FT	95.7 FT	31.3 FT	14.8 FT
MINIMUM REAR YARD SETBACK	25 FT	0 FT (V)	35.3 FT	0 FT (EN)

(V) VARIANCE  
 (EN) EXISTING NON-CONFORMITY  
 (\*) PER THE BOROUGH OF BOGOTA MUNICIPAL CODE BUILDING HEIGHT IS MEASURED ALONG THE FRONT OF THE PROPERTY. ALONG THE FRONT OF THE PROPERTY BUILDING HEIGHT MEASURES 3 STORIES AND MAY TRIGGER A VARIANCE. BUILDING HEIGHT ALONG THE REAR MEASURES 2 STORIES.

**GENERAL NOTES**

- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEYS FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
- THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
- THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
- SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

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TT	12/22/2022	CN	
1	02/18/2023		
2			

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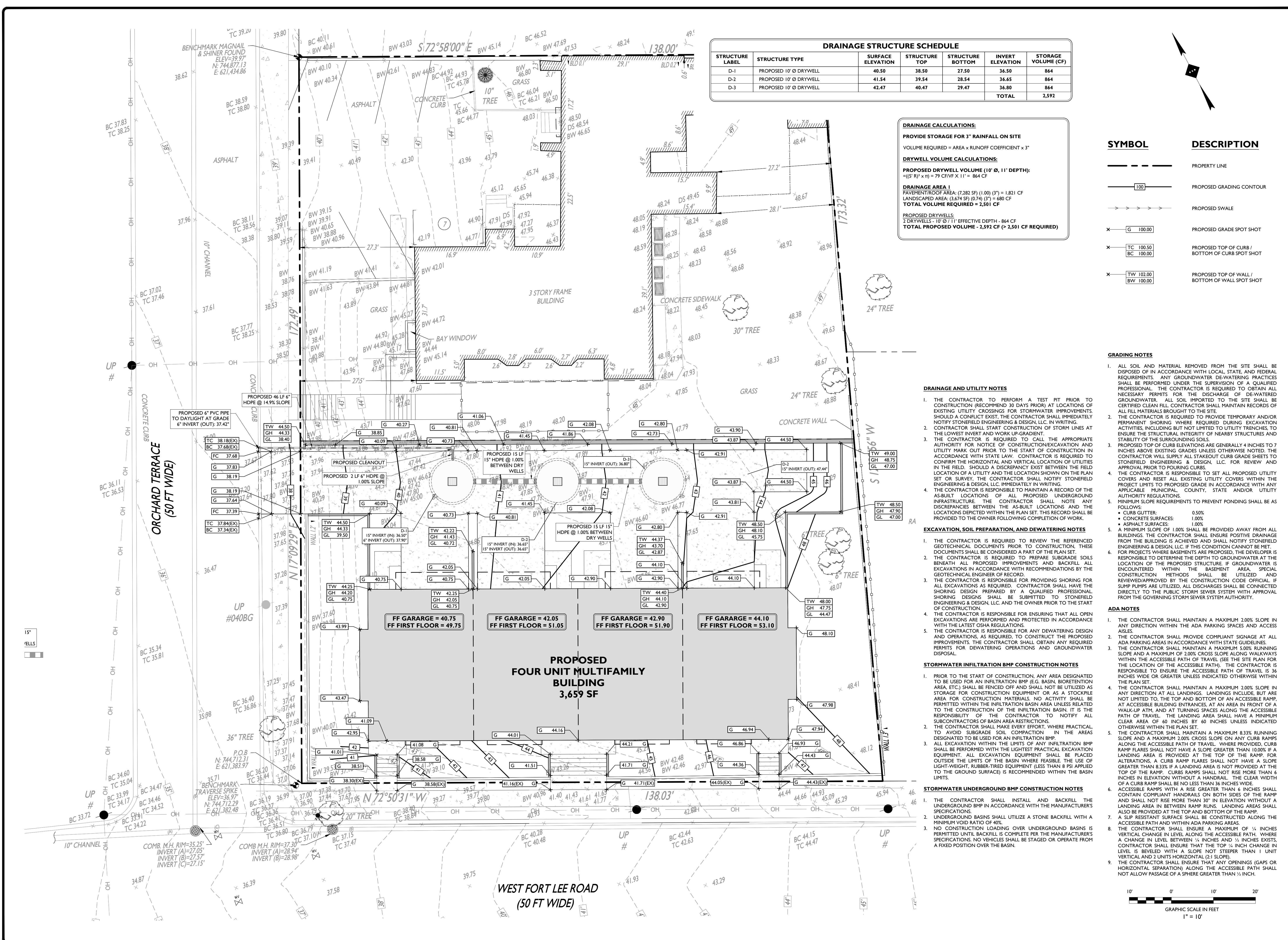


SCALE: 1" = 10' PROJECT ID: RUT-210177

TITLE: **SITE PLAN**

DRAWING: **C-4**

Z:\PROJECTS\ORCHARD TERRACE\02\10177 BOGOTA RESIDENTIAL - 285 ORCHARD TERRACE - BOGOTA, NJ\ORCHARD TERRACE SITE PLAN.dwg



DRAINAGE STRUCTURE SCHEDULE						
STRUCTURE LABEL	STRUCTURE TYPE	SURFACE ELEVATION	STRUCTURE TOP	STRUCTURE BOTTOM	INVERT ELEVATION	STORAGE VOLUME (CF)
D-1	PROPOSED 10' Ø DRYWELL	40.50	38.50	27.50	36.50	864
D-2	PROPOSED 10' Ø DRYWELL	41.54	39.54	28.54	36.65	864
D-3	PROPOSED 10' Ø DRYWELL	42.47	40.47	29.47	36.80	864
<b>TOTAL</b>						<b>2,592</b>

**DRAINAGE CALCULATIONS:**  
 PROVIDE STORAGE FOR 3" RAINFALL ON SITE  
 VOLUME REQUIRED = AREA x RUNOFF COEFFICIENT x 3"  
**DRYWELL VOLUME CALCULATIONS:**  
 PROPOSED DRYWELL VOLUME (10' Ø, 11' DEPTH):  
 = (5' R<sup>2</sup> x π) = 79 CF/FT x 11' = 864 CF  
**DRAINAGE AREA 1**  
 PAVEMENT/ROOF AREA: (7,282 SF) (1.00) (3") = 1,821 CF  
 LANDSCAPED AREA: (3,674 SF) (0.74) (3") = 800 CF  
**TOTAL VOLUME REQUIRED = 2,501 CF**  
 PROPOSED DRYWELLS:  
 3 DRYWELLS - 10' Ø / 11' EFFECTIVE DEPTH - 864 CF  
**TOTAL PROPOSED VOLUME - 2,592 CF (> 2,501 CF REQUIRED)**

SYMBOL	DESCRIPTION
---	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
---	PROPOSED SWALE
x G 100.00	PROPOSED GRADE SPOT SHOT
x TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
x TW 102.00 BW 100.00	PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT

- DRAINAGE AND UTILITY NOTES**
- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
  - CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP GRADIENT.
  - THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
  - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

- EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES**
- THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
  - THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER OF RECORD.
  - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS WITHIN THE LIMITS OF ANY INFILTRATION BMP. THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL SHORING DESIGNER SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
  - THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
  - THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

- STORMWATER INFILTRATION BMP CONSTRUCTION NOTES**
- PRIOR TO THE START OF CONSTRUCTION, ANY AREA DESIGNATED TO BE USED FOR AN INFILTRATION BMP (E.G. BASIN, BIORETENTION AREA, ETC.) SHALL BE FENCED OFF AND SHALL NOT BE UTILIZED AS STORAGE FOR CONSTRUCTION EQUIPMENT OR AS A STOCKPILE AREA FOR CONSTRUCTION MATERIALS. NO ACTIVITY SHALL BE PERMITTED WITHIN THE INFILTRATION BASIN AREA UNLESS RELATED TO THE CONSTRUCTION OF THE INFILTRATION BASIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ALL SUBCONTRACTORS OF BASIN AREA RESTRICTIONS.
  - THE CONTRACTOR SHALL MAKE EVERY EFFORT, WHERE PRACTICAL TO AVOID SUBGRADE SOIL COMPACTION IN THE AREAS DESIGNATED TO BE USED FOR AN INFILTRATION BMP.
  - ALONG THE ACCESSIBLE PATH OF ANY INFILTRATION BMP SHALL BE PERFORMED WITH THE LIGHTEST PRACTICAL EXCAVATION EQUIPMENT. ALL EXCAVATION EQUIPMENT SHALL BE PLACED OUTSIDE THE LIMITS OF THE BASIN WHERE FEASIBLE. THE USE OF LIGHT-WEIGHT, RUBBER-TIRED EQUIPMENT (LESS THAN 8 PSI APPLIED TO THE GROUND SURFACE) IS RECOMMENDED WITHIN THE BASIN LIMITS.

- STORMWATER UNDERGROUND BMP CONSTRUCTION NOTES**
- THE CONTRACTOR SHALL INSTALL AND BACKFILL THE UNDERGROUND BMP IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
  - UNDERGROUND BASINS SHALL UTILIZE A STONE BACKFILL WITH A MINIMUM VOID RATIO OF 40%.
  - NO CONSTRUCTION LOADING OVER UNDERGROUND BASINS IS PERMITTED UNTIL BACKFILL IS COMPLETE PER THE MANUFACTURER'S SPECIFICATIONS. NO VEHICLES SHALL BE STAGED OR OPERATE FROM A FIXED POSITION OVER THE BASIN.

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
  - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES. TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
  - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
  - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
  - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
    - CURB GUTTER: 0.50%
    - CONCRETE SURFACES: 1.00%
    - ASPHALT SURFACES: 1.00%
  - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET.
  - FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
  - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
  - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
  - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL, THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
  - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33%. A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
  - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
  - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
  - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH, WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS. CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
  - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4 INCH.

**PRELIMINARY AND FINAL MINOR SITE PLANS**

# PROPOSED RESIDENTIAL DEVELOPMENT

BLOCK 65, LOT 12  
285 ORCHARD TERRACE  
BERGEN COUNTY, NEW JERSEY

**STONEFIELD**  
engineering & design

ZACHARY E. CHAPLIN, P.E.  
NEW JERSEY LICENSE NO. 53605  
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SCALE: 1" = 10' PROJECT ID: RUT-210177

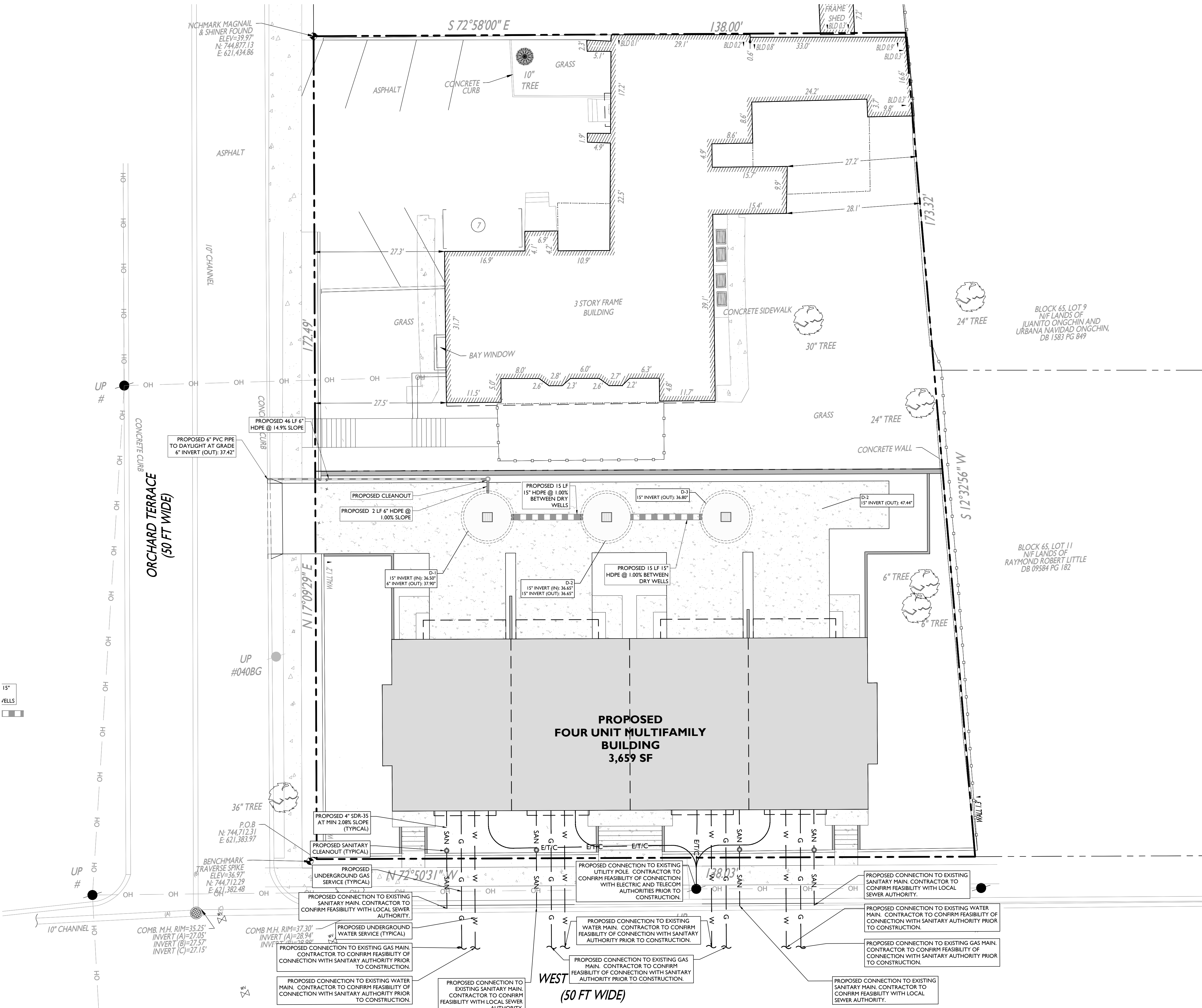
TITLE: **GRADING AND DRAINAGE PLAN**

DRAWING: **C-5**

ISSUED FOR REVIEW	ISSUED FOR CLIENT REVIEW	DATE	BY	DESCRIPTION
TT	CN	12/22/2022		
2	1	02/18/2023		ISSUE

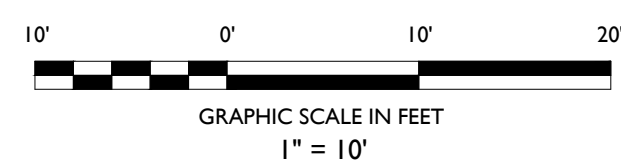
**NOT APPROVED FOR CONSTRUCTION**

2:RUT21017.DWG (R) 11/27/2021 10:07:41 AM 285 ORCHARD TERRACE BOGOTA, NEW JERSEY 07003



SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	PROPOSED SANITARY LATERAL
---	PROPOSED DOMESTIC WATER SERVICE
---	PROPOSED ELECTRICAL/DATA CONDUITS
---	PROPOSED GAS LINE
○	PROPOSED SANITARY MANHOLE / CLEANOUT

- DRAINAGE AND UTILITY NOTES**
- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
  - THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
  - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
  - A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
  - ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
  - THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
  - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
  - CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADE.
  - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
  - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



ISSUE	DATE	BY	DESCRIPTION
2	12/22/2022	TT	ISSUED FOR REVIEW
1	02/18/2023	CN	FOR CLIENT REVIEW

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PRELIMINARY AND FINAL MINOR SITE PLANS

**PROPOSED RESIDENTIAL DEVELOPMENT**

BLOCK 65, LOT 12  
285 ORCHARD TERRACE  
TOWN OF BOGOTA  
BERGEN COUNTY, NEW JERSEY

*Zachary E. Chaplin*

ZACHARY E. CHAPLIN, P.E.  
NEW JERSEY LICENSE NO. 53605  
LICENSED PROFESSIONAL ENGINEER

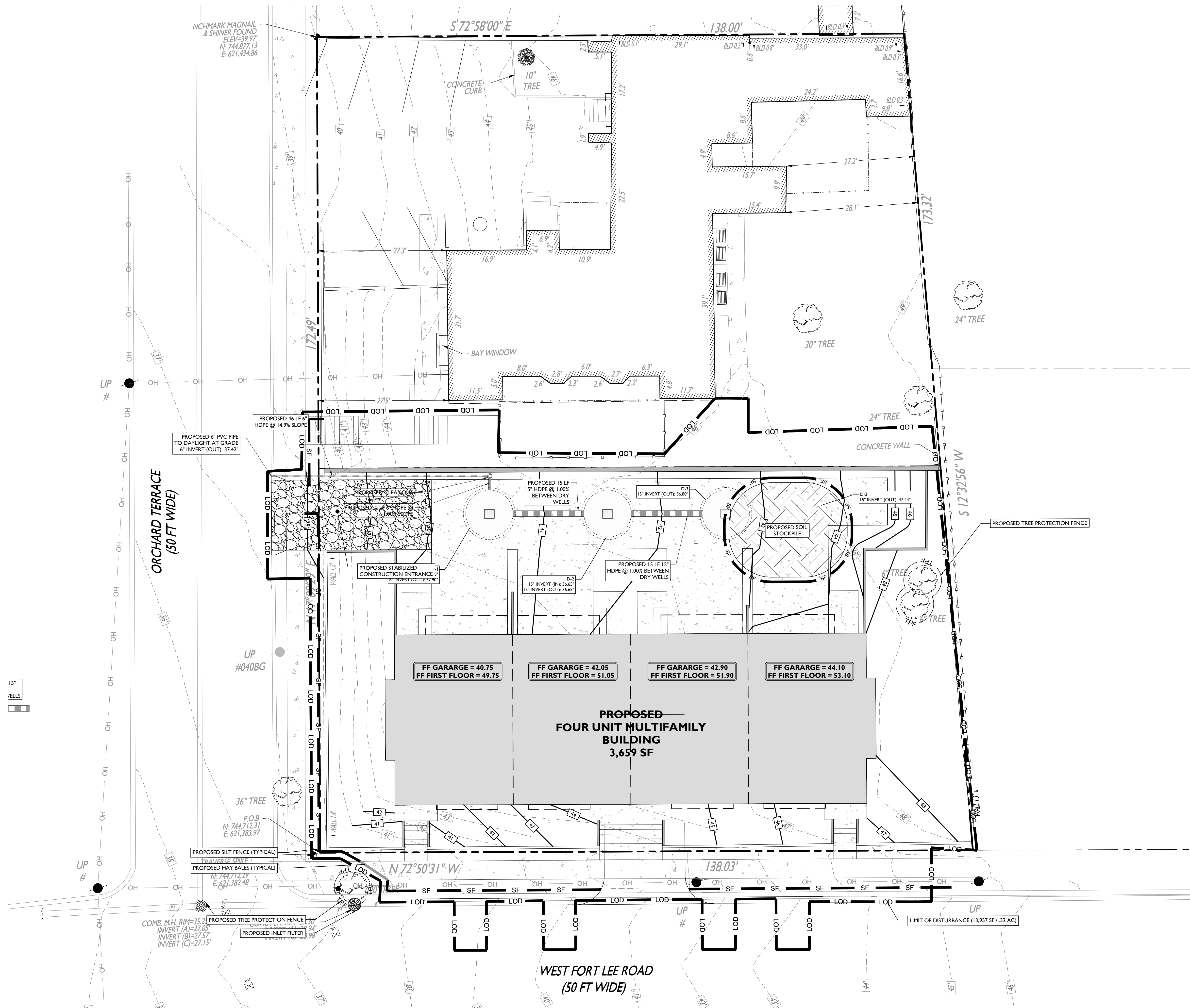
**STONEFIELD**  
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SCALE: 1" = 10' PROJECT ID: RUT-210177

TITLE: UTILITY PLAN

DRAWING: C-6

2:R:\PHOTOGRAPHY\2023\10771\000701 - RESIDENTIAL - 285 ORCHARD TERRACE, BOGOTA, NEW JERSEY\DWG\RESIDENC



SYMBOL	DESCRIPTION
	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED SILT FENCE
	PROPOSED TREE PROTECTION FENCE
	PROPOSED STOCKPILE & EQUIPMENT STORAGE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED INLET PROTECTION FILTER

- SOIL EROSION AND SEDIMENT CONTROL NOTES**
1. THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
  2. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
  3. THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.

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01/18/2023			

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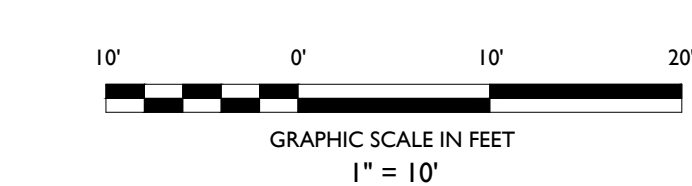
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NEW JERSEY LICENSE No. 53605  
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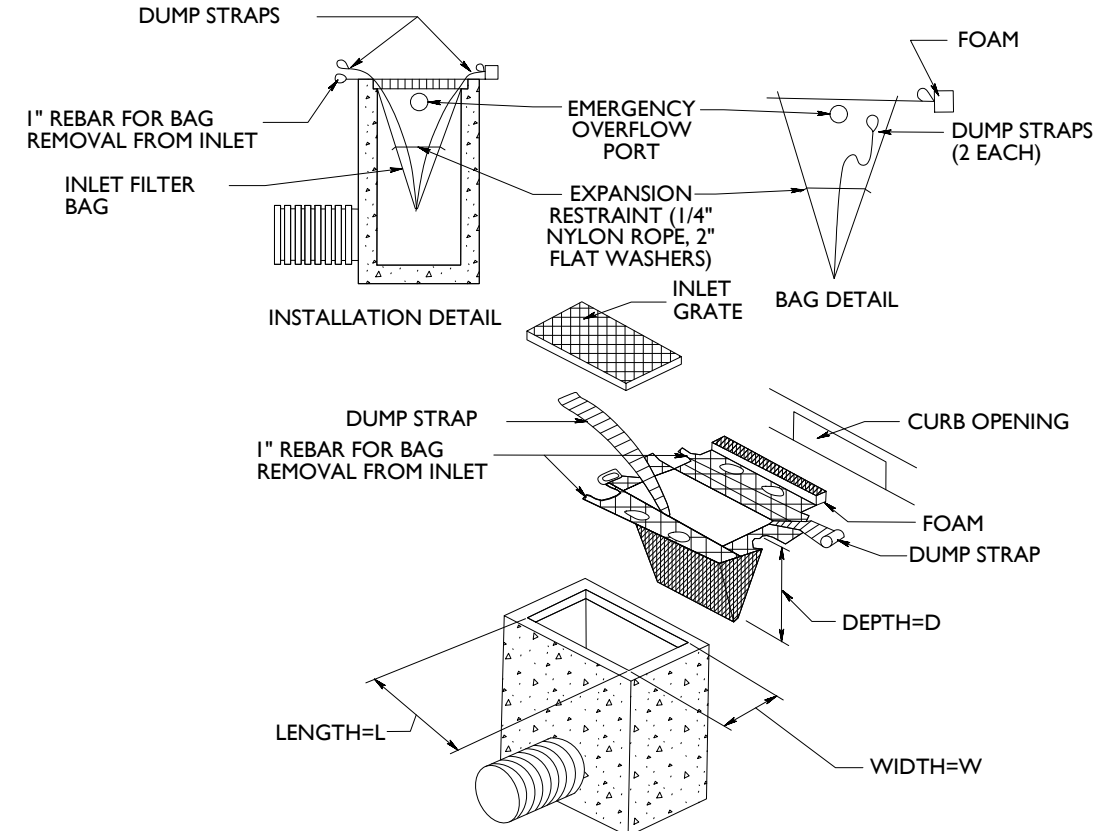
**STONEFIELD**  
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SCALE: 1" = 10' PROJECT ID: RUT-210177

TITLE:  
**SOIL EROSION & SEDIMENT CONTROL PLAN**

DRAWING:  
**C-7**

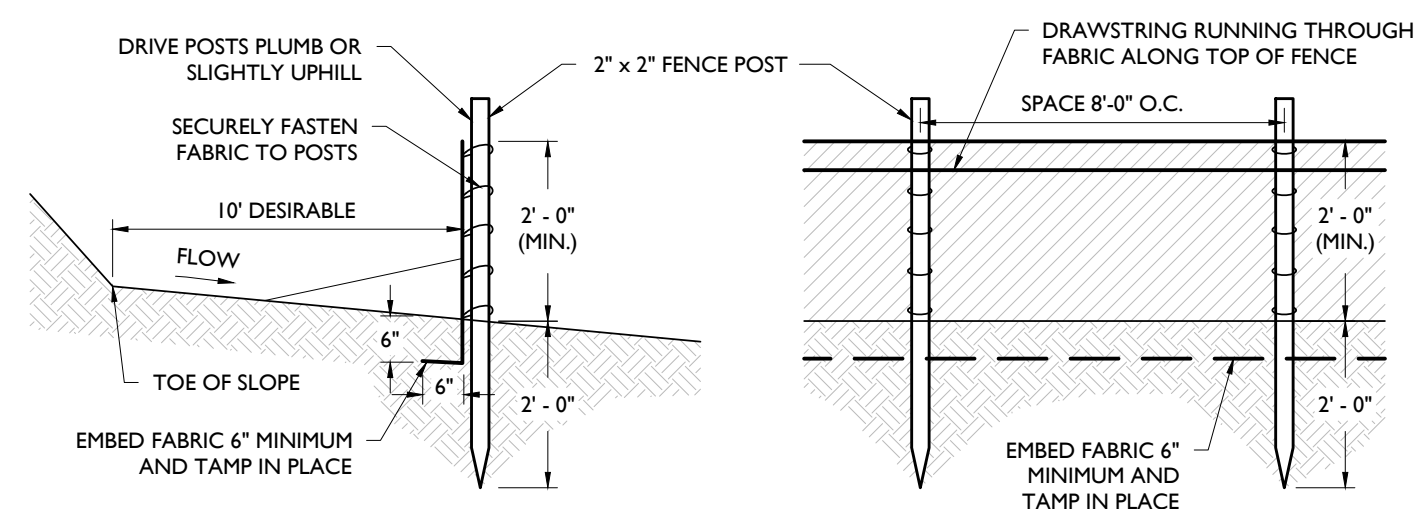




- NOTES:
1. THE FILTER BAG SHALL SAFELY PASS FLOWS GREATER THAN THE 1-YEAR 24-HOUR STORM EVENT.
  2. SEDIMENT REMOVAL AND MAINTENANCE SHALL BE PERFORMED FREQUENTLY AND AFTER EVERY STORM EVENT.

**INLET FILTER BAG DETAIL**

NOT TO SCALE



- NOTES:
1. SECURELY FASTEN GEOTEXTILE TO FENCE POST BY USE OF WIRE TIES, HOG RINGS, STAPLES OR POCKETS. FOUR TO SIX FASTENERS PER POST.
  2. GEOTEXTILE FABRIC TO BE EMBEDDED 6\"/>

**SILT FENCE DETAIL**

NOT TO SCALE

**SOIL EROSION AND SEDIMENT CONTROL NOTES**

1. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 48 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
2. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
3. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO NJ STATE STANDARDS.
4. PERMANENT VEGETATION SHALL BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NJ STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
6. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS IN AREAS WHERE NO UTILITIES ARE PRESENT. THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OR PRELIMINARY GRADING.
7. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES, ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO THE NJ STATE STANDARDS.
8. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).
9. TRAFFIC CONTROL STANDARDS REQUIRE THE INSTALLATION OF A 50X30X6\"/>

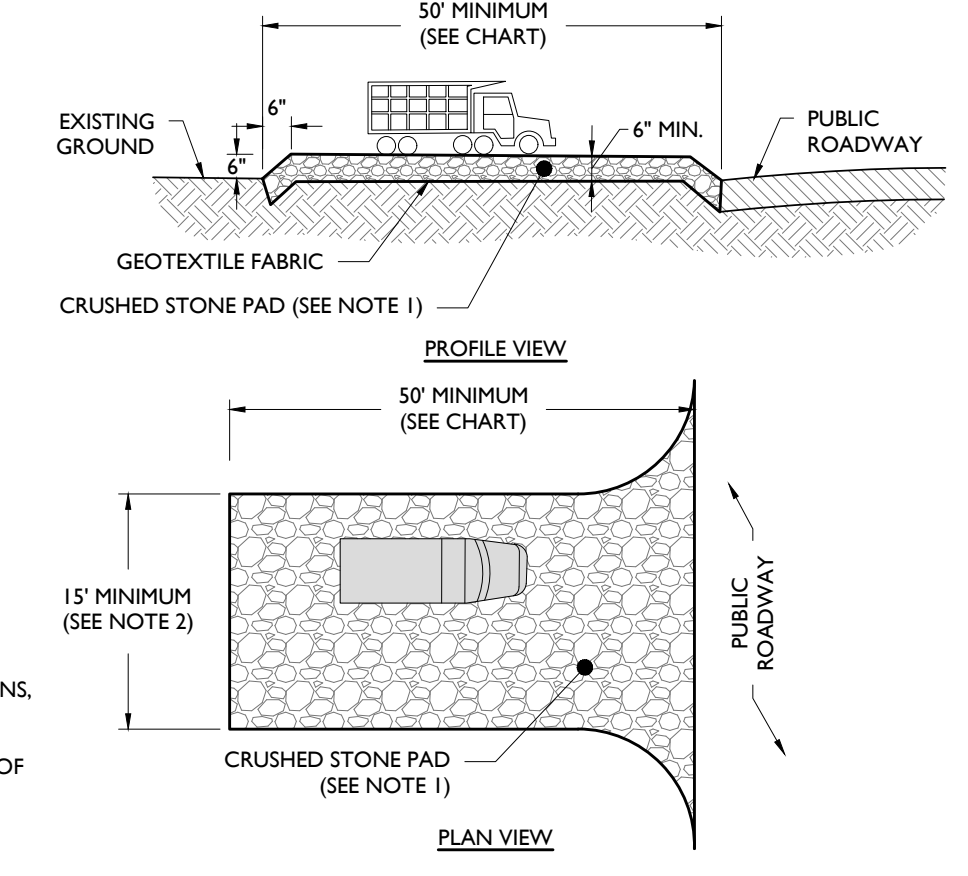
15. MULCHING TO THE NJ STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE. CONDITIONALS ARE ONLY ISSUED WHEN THE SEASON PROHIBITS SEEDING.
16. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF CONSTRUCTION PROJECT.
17. THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION AT THE REQUEST OF THE SOMERSET-UNION SOIL CONSERVATION DISTRICT.
18. HYDRO SEEDING IS A TWO-STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIME, ETC., ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE CONSISTENCY. GOOD SEED TO SOIL CONTACT, AND GIVE A VISUAL INDICATION OF COVERAGE UPON COMPLETION OF SEEDING OPERATION. HYDRO-MULCH SHOULD BE APPLIED AT A RATE OF 1500 LBS. PER ACRE IN SECOND STEP. THE USE OF HYDRO-MULCH, AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE NJ STANDARDS.
19. UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SOIL TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING.

**BASIN COMPACTION NOTES**

1. IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6\"/>

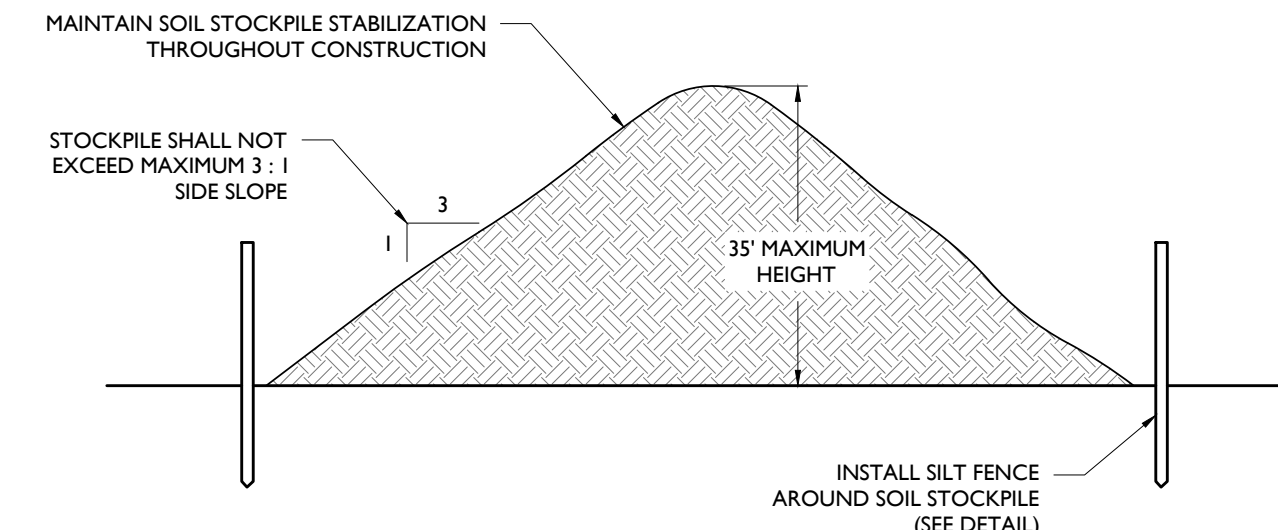
SLOPE OF PUBLIC ROADWAY	LENGTH OF STONE REQ'D	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0% TO 2%	50 FEET	100 FEET
2% TO 5%	100 FEET	200 FEET
> 5%	SEE NOTE 4	

- NOTES:
1. STONE SHALL BE ASTM C-33, SIZE No. 2 (2.5\"/>



**STABILIZED CONSTRUCTION ACCESS DETAIL**

NOT TO SCALE



- NOTES:
1. STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
  2. STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AS APPROPRIATE (SEE SOIL EROSION NOTES).

**SOIL STOCKPILE DETAIL**

NOT TO SCALE

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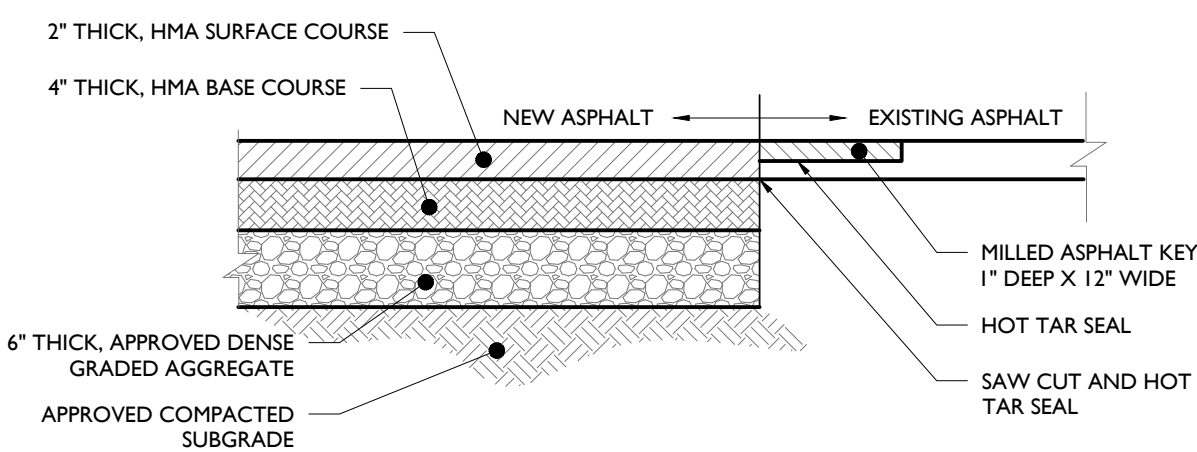
SCALE: AS SHOWN PROJECT ID: RUT-210177

TITLE:  
**SOIL EROSION & SEDIMENT CONTROL PLAN**

DRAWING:  
**C-8**

2:RUPH080401(02)01(02)10177-000071-RESIDENTIAL - 285 ORCHARD TERRACE, BOGOTA, NEW JERSEY (02/06/2021)

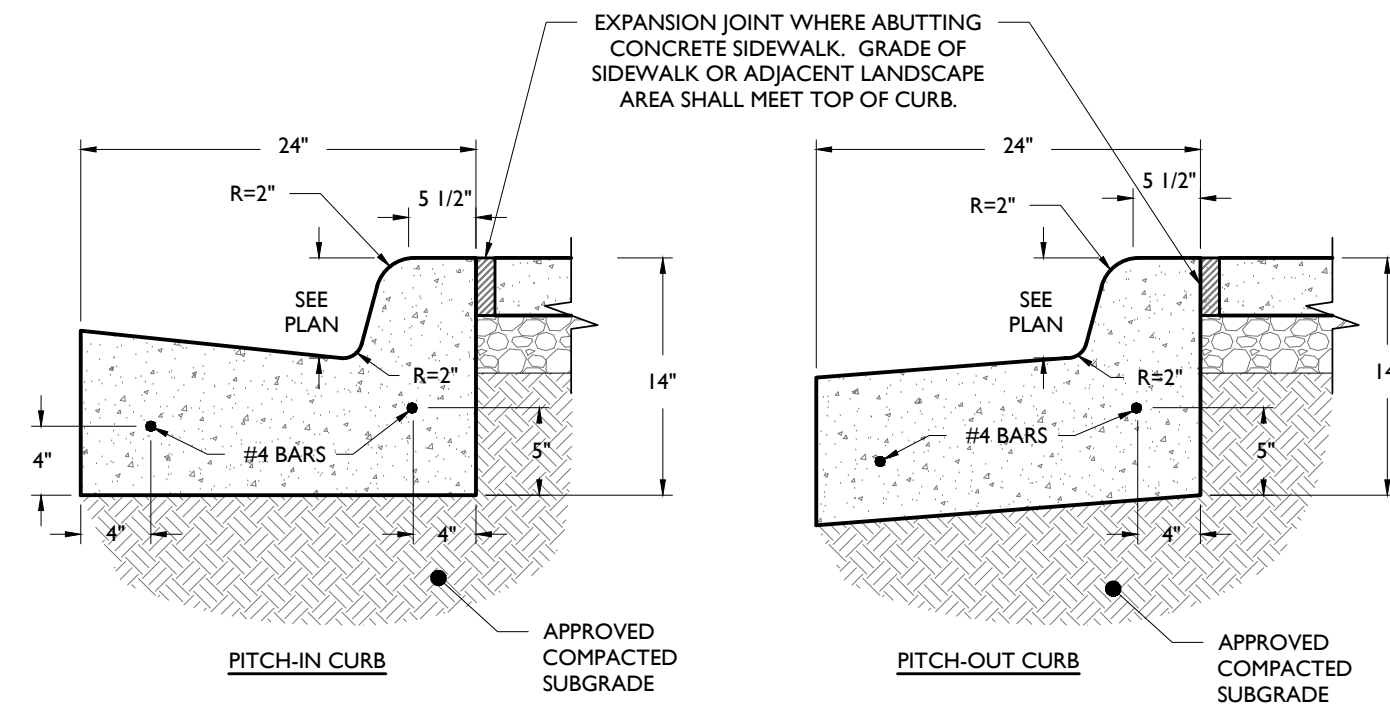




**FULL DEPTH ASPHALT PAVEMENT DETAIL**

NOTE:  
HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

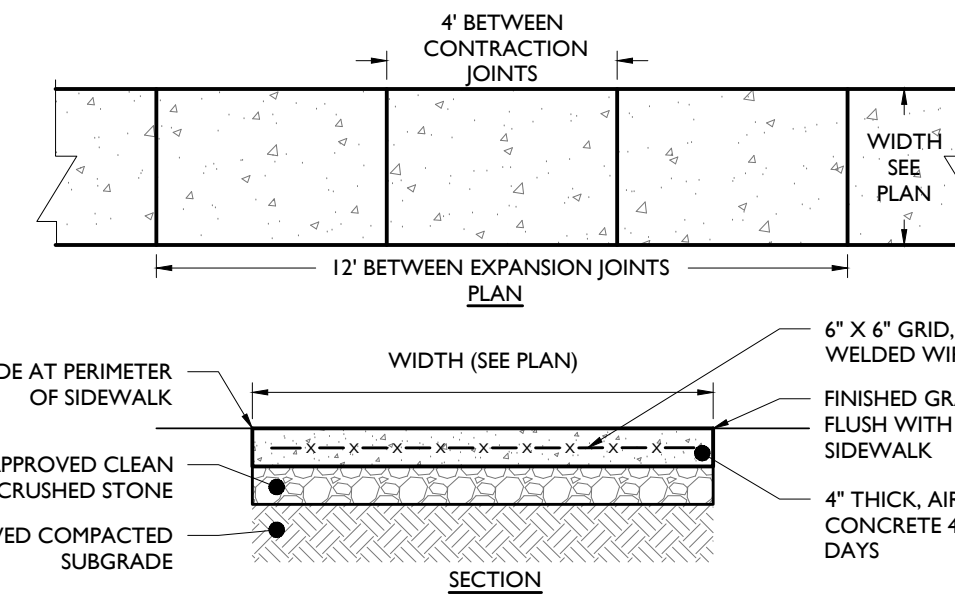
NOT TO SCALE



**CONCRETE CURB AND GUTTER DETAIL**

NOTES:  
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.  
2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2\"/>

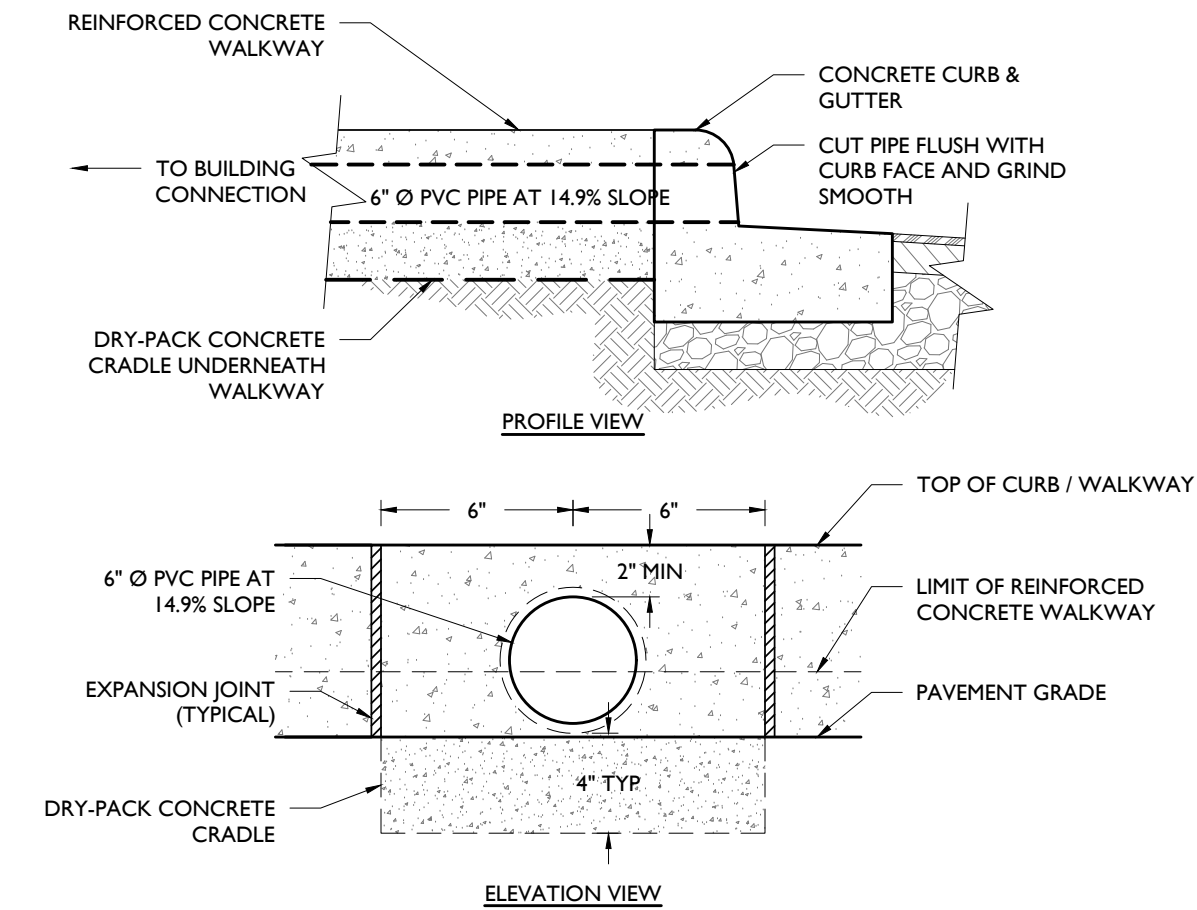
NOT TO SCALE



**REINFORCED CONCRETE WALKWAY DETAIL**

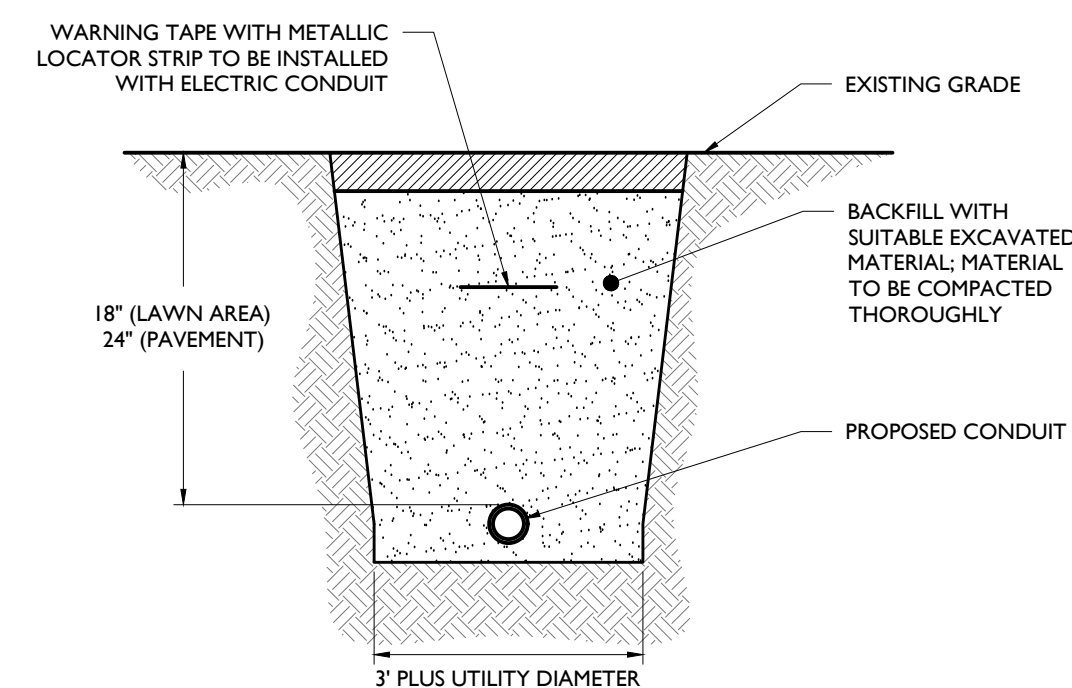
NOTES:  
1. MAXIMUM CROSS SLOPE SHALL BE 1/4\"/>

NOT TO SCALE



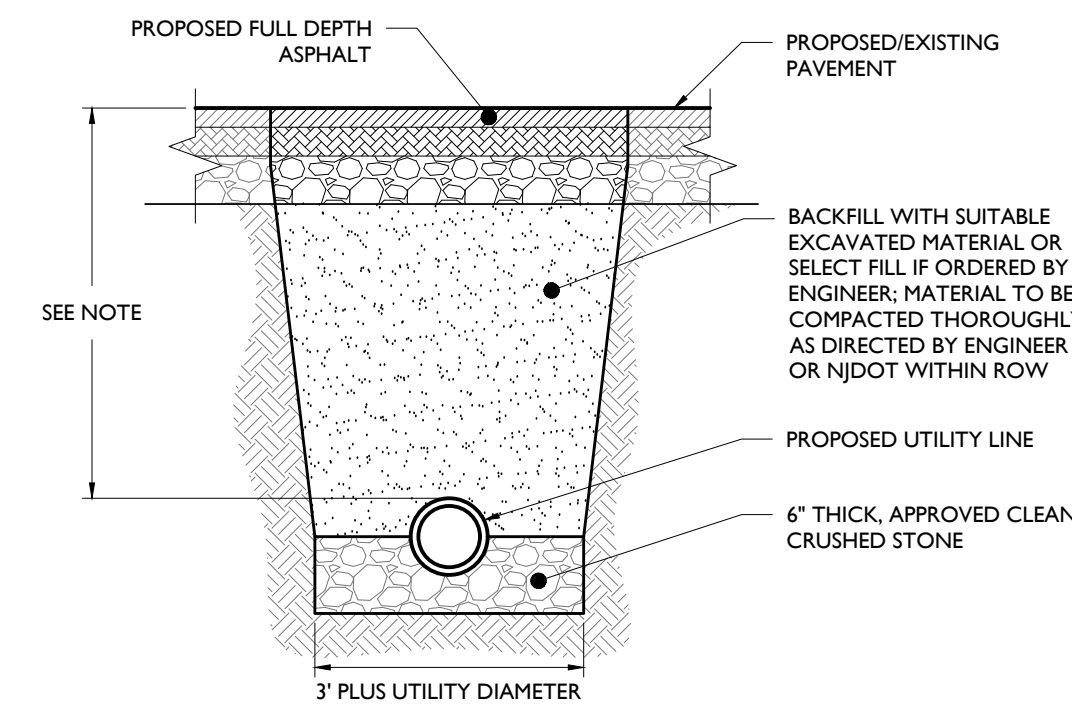
**OVERFLOW ROOF DRAIN TO CURB OUTLET**

NOT TO SCALE



**ELECTRICAL CONDUIT TRENCH DETAIL**

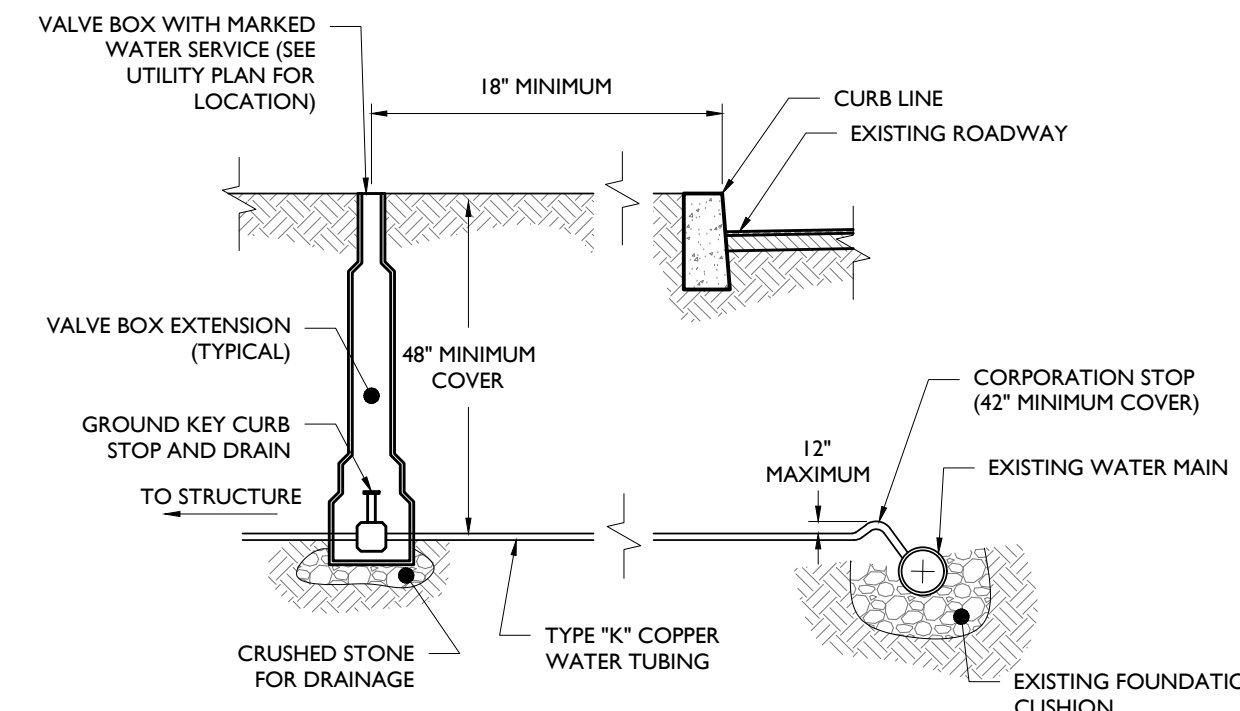
NOT TO SCALE



**UTILITY TRENCH DETAIL (PAVED AREA)**

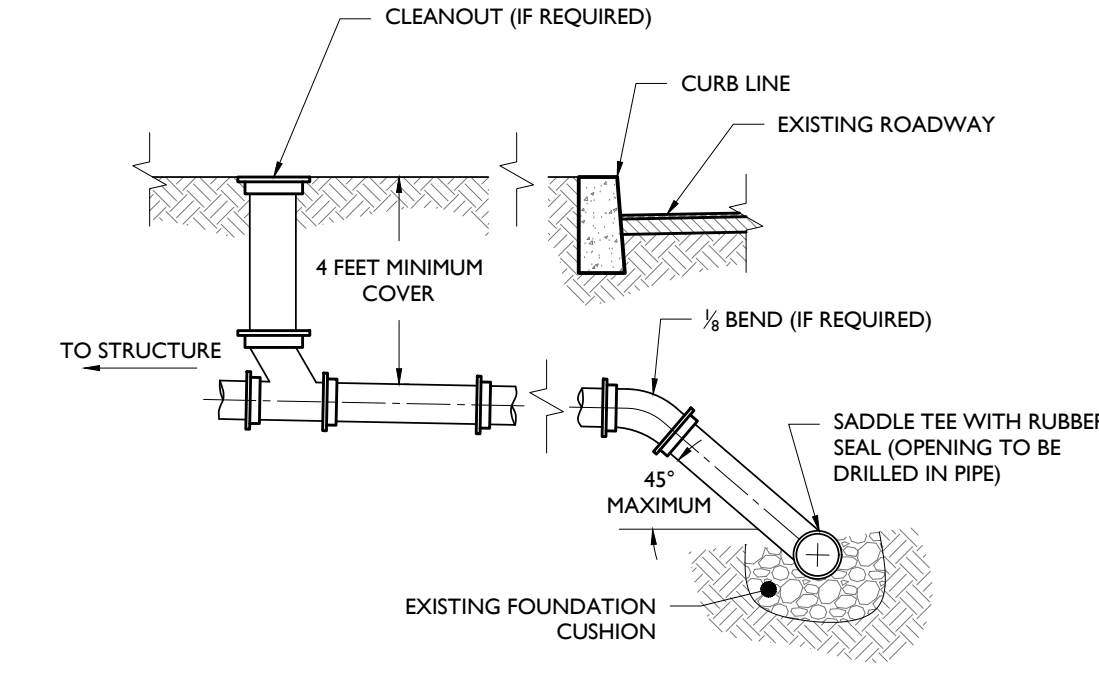
NOTE:  
MINIMUM PIPE COVER SHALL BE AS FOLLOW:  
\* WATER - 48\"/>

NOT TO SCALE



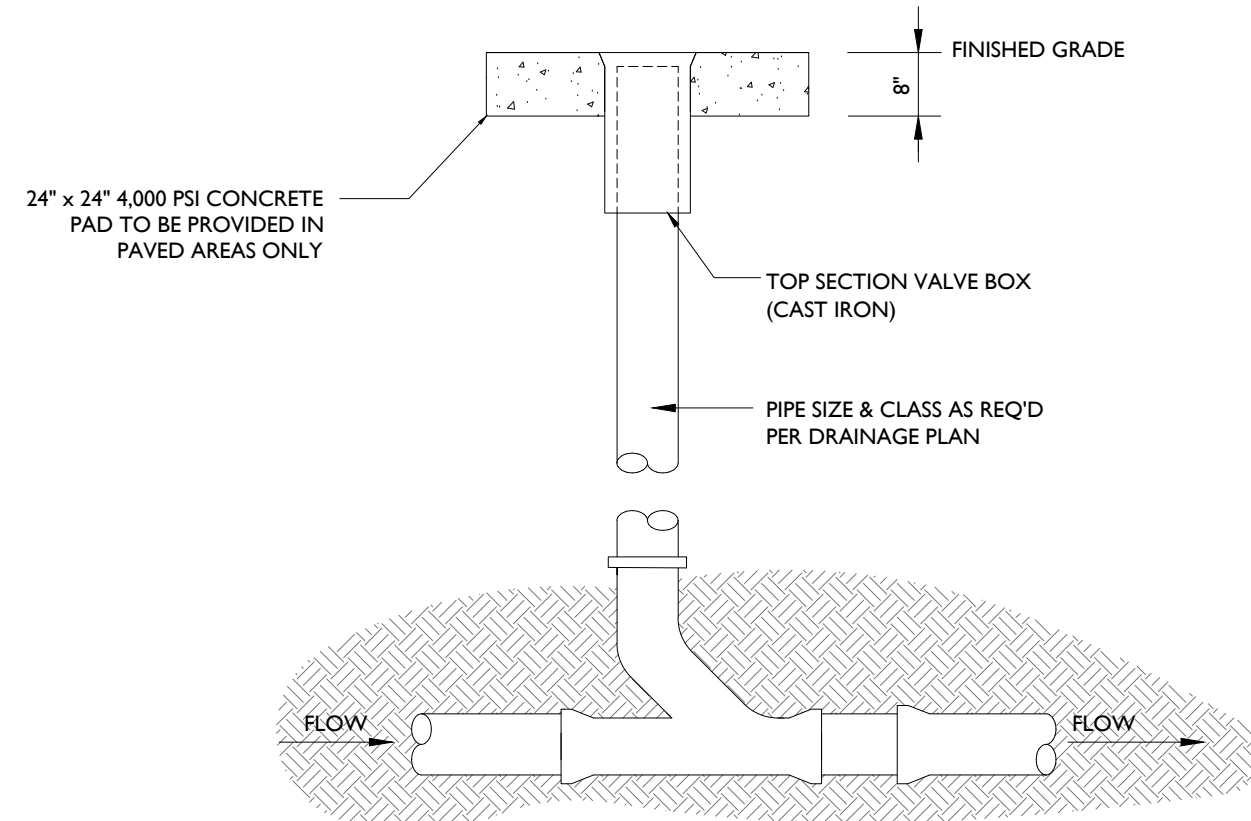
**WATER CONNECTION DETAIL**

NOT TO SCALE



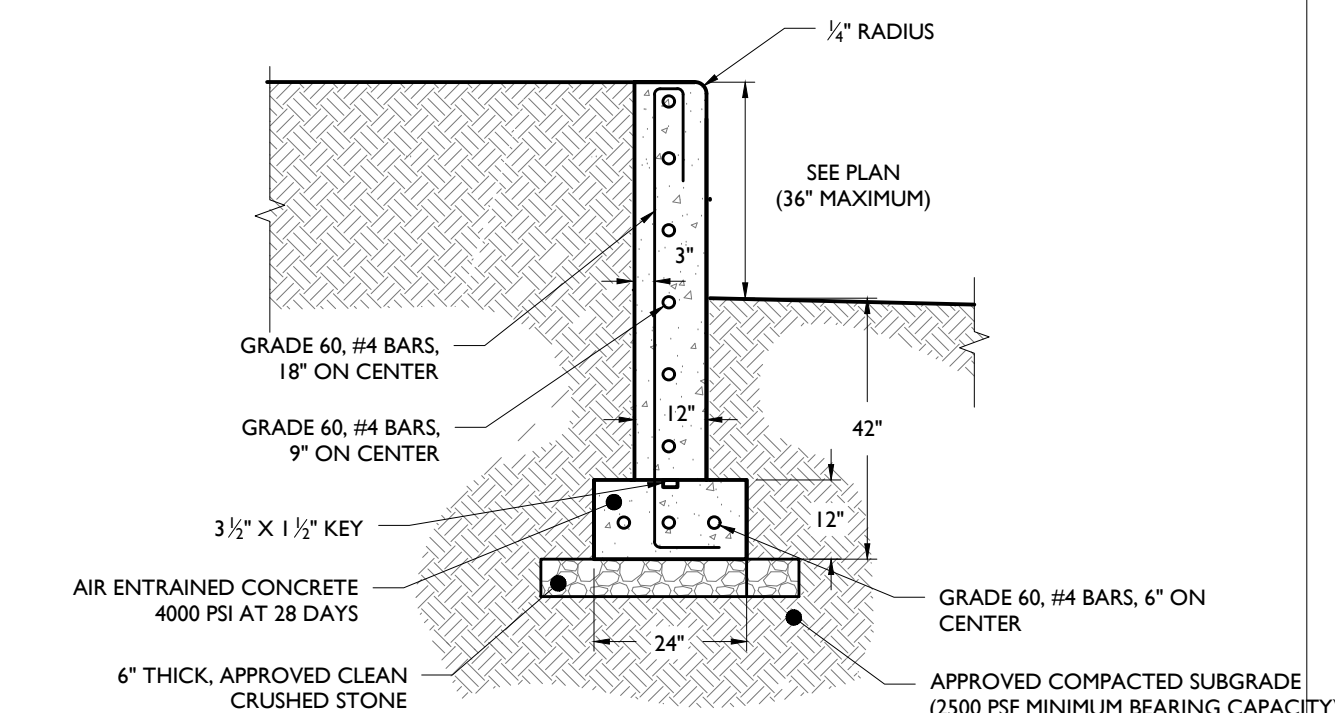
**SEWER CONNECTION DETAIL**

NOT TO SCALE



**CLEAN-OUT**

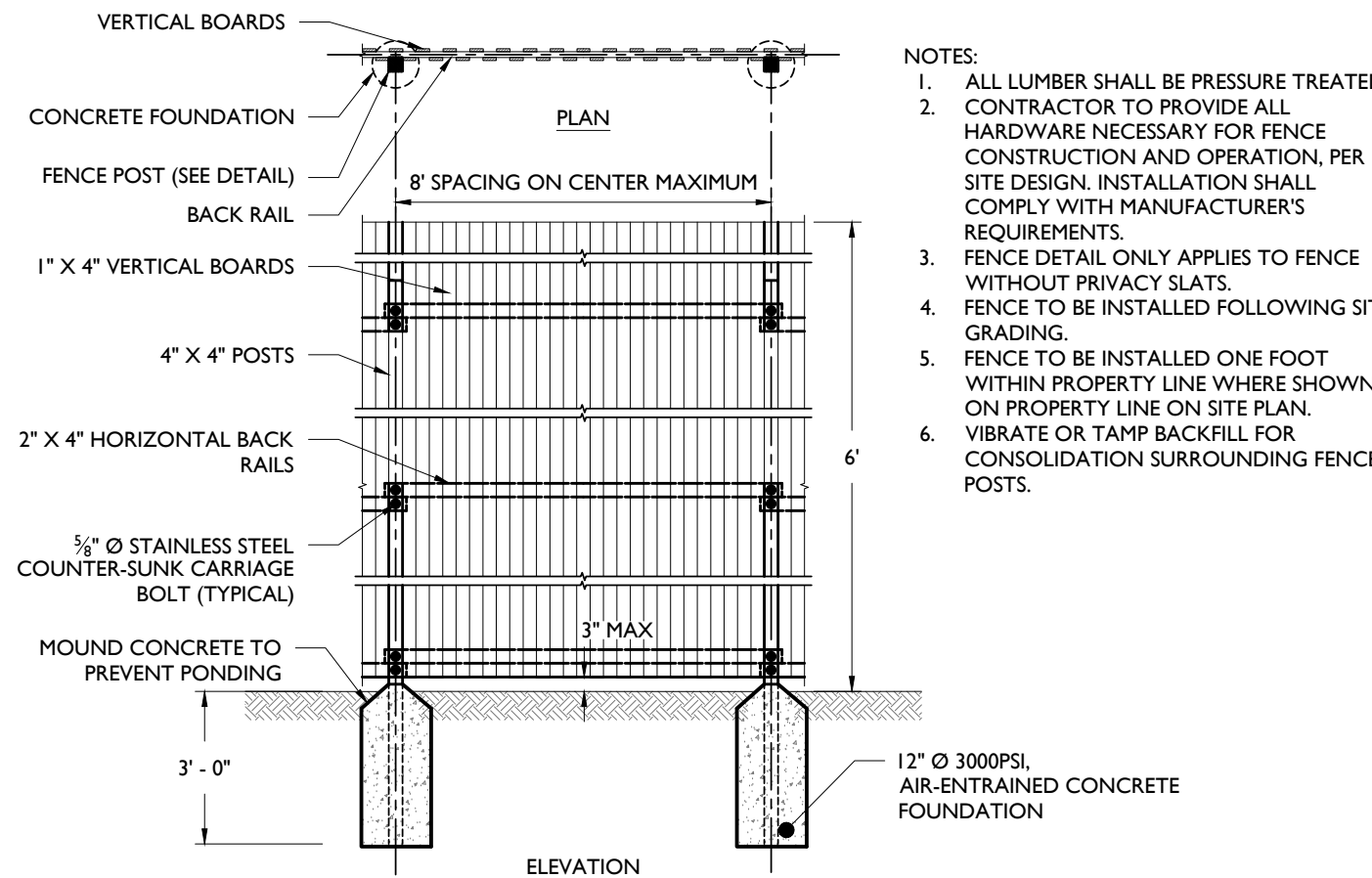
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**CONCRETE WALL DETAIL**

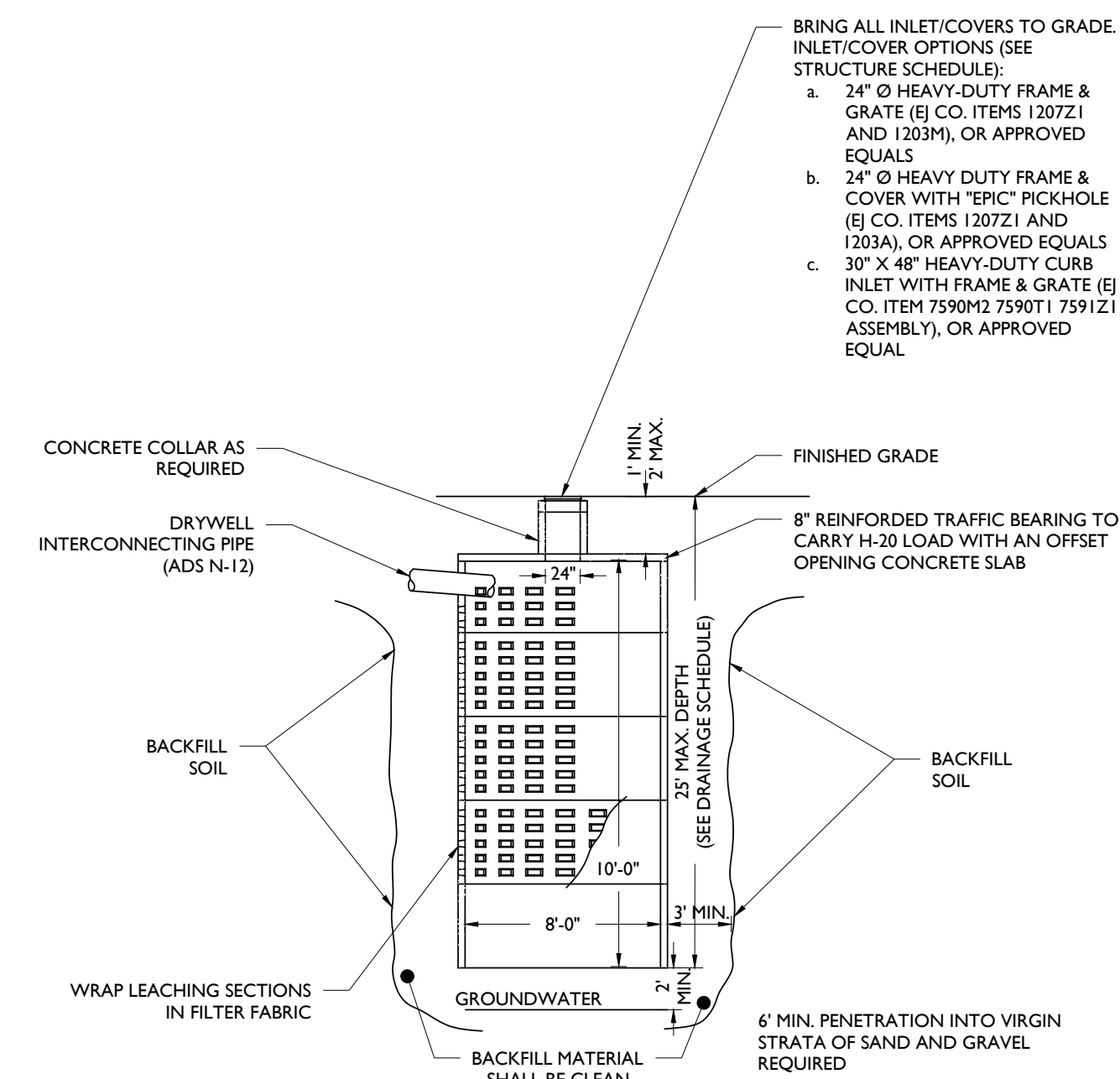
NOTES:  
1. CONTRACTOR SHALL ENSURE 3\"/>

NOT TO SCALE



**BOARD ON BOARD FENCE DETAIL**

NOT TO SCALE



**ON-SITE DRAINAGE DRYWELL**

NOT TO SCALE

NOTES:  
1. FOR ALL DRAINAGE STRUCTURES, A MAXIMUM OF 6 INCHES OF BRICK AND MORTAR OR A MAXIMUM OF 2 INCHES OF MORTAR ALONE SHALL BE USED FOR FRAME AND GRATE ADJUSTMENT. FOR ADJUSTMENTS OVER 6 INCHES, CAST-IN-PLACE CONCRETE OR A PRECAST CONCRETE CHIMNEY ELEMENT SHALL BE USED.  
2. BRICK USED FOR ADJUSTMENT SHALL CONFORM TO THE NYSDOT SECTION 704.13 AND PRECAST CHIMNEY ELEMENTS SHALL CONFORM TO SECTION 706-04.  
3. CONTRACTOR SHALL REFER TO REPORT GEOTECHNICAL ENGINEERING REPORT PREPARED BY HALCY & ALDRICH OF NEW YORK, DATED 12/10/15.

NO.	DATE	ISSUE	BY	DESCRIPTION
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SCALE: AS SHOWN PROJECT ID: RUT-210177

TITLE:  
**CONSTRUCTION DETAILS**

DRAWING:  
**C-9**